

CITY OF CROWLEY, TEXAS: CHAPTER 106 - ZONING ORDINANCE

ARTICLE 4: SPECIAL DISTRICT STANDARDS

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CITY OF CROWLEY, TEXAS: CHAPTER 106 — ZONING ORDINANCE

ARTICLE 4: SPECIAL DISTRICT STANDARDS

106.55 DOWNTOWN DISTRICT

A. PURPOSE AND INTENT

The Downtown District is a downtown neighborhood anchored by a civic core along Main Street which has local significance as a historic commercial corridor through the city and is currently a major regional corridor in southwest Tarrant County. The district highlights a desire for a community center based in tradition and history, but provides a lively atmosphere of community recreation and living. In order to grow and sustain downtown, the following is hereby established.

- (1) **Walkability:** In order to facilitate walkability and livability, Main Street and intersecting streets within the district shall provide accessible sidewalks with "street" trees, and standards are established to facilitate an integrated set of transportation choices—driving, walking, and cycling—as well as to form public places bounded by building façades, creating a sense of "outdoor rooms" or enclosure along the street or within building courtyards opening to the street.
- (2) **Public improvements:** The public improvements along Main Street within city rights-of-way necessary to facilitate walkability shall be designed and constructed by the city, other public entities when funding becomes available, or through a combination of public/private partnerships; accordingly, new design and construction of private buildings and improvements within the district shall conform to and be complementary with those public improvements. For development on or along other roadways within the downtown district, sidewalks shall be installed by the developer if sidewalks meeting the requirements of this Code are not already in place.
- (3) **Downtown sub-districts:** Boundaries of the Downtown District and associated sub-districts are each based on Figure 106.55-1 – Downtown Zoning Map. Each of the sub-districts contain existing infrastructure for vehicular access, and future improvements include sidewalks and trail connections to allow for accessibility for the pedestrian and bicyclist to the historic downtown core of Crowley.

B. GENERAL SITE DESIGN STANDARDS

The following general site design standards apply to all sub-districts in the Downtown District.

- (1) **Frontage Build-Out:** In order to create a nearly continuous pattern of buildings along a street and sidewalk, buildings are required to have a minimum building width, as a percentage of the lot width, along the street. This is referred to as the Frontage Build-Out. Each sub-district shall have a minimum Frontage Build-Out requirement as indicated in the sub-district standards. The Frontage Build-Out along each street shall be calculated per Figure 106.55-2. The minimum frontage requirement may be achieved with multiple buildings by adding the frontages of each building located within the Build-to-Zone.
- (2) **Build-to-Zone:** The Build-to-Zone is the area between the minimum and maximum front setbacks as shown in Figure 106.55-2. For purposes of calculating the Frontage Build-

Out, only that portion of the façade (or façades) that occurs within the Build-to-Zone counts toward the minimum Frontage Build-Out.

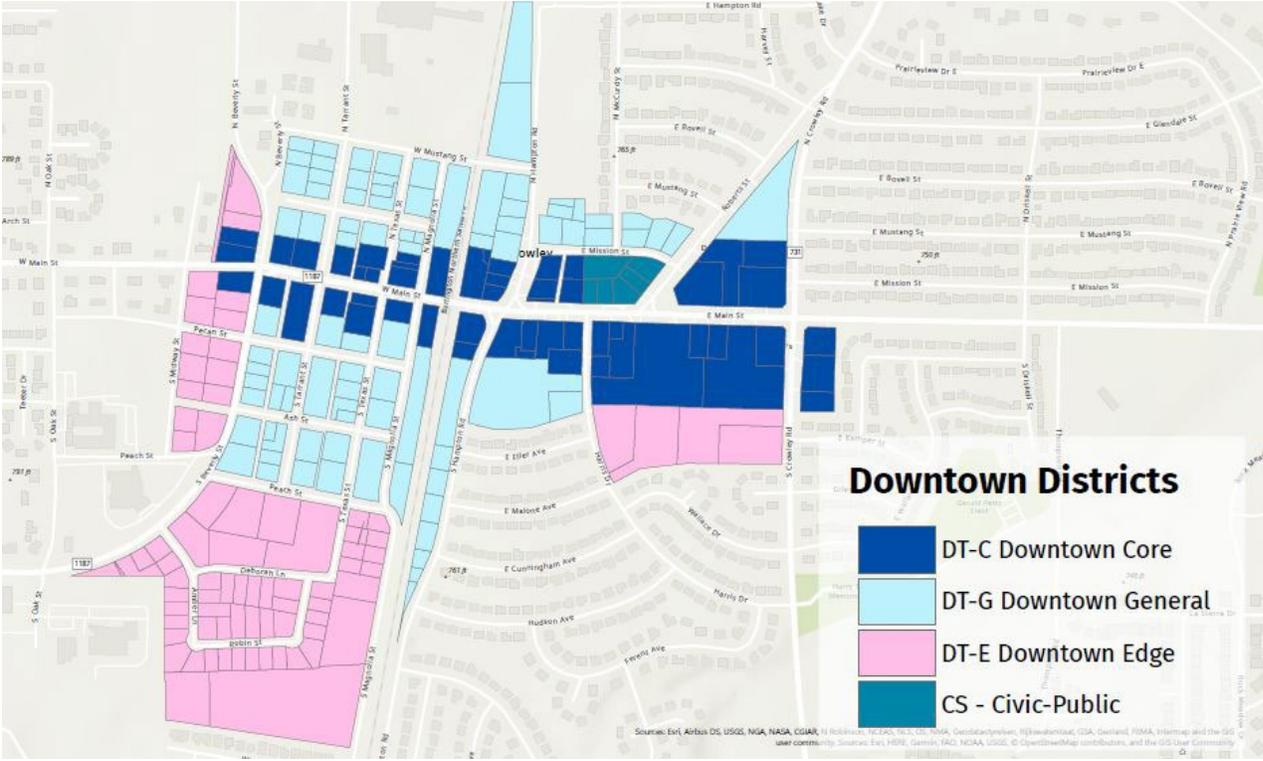


Figure 106.55-1: Downtown Zoning Map

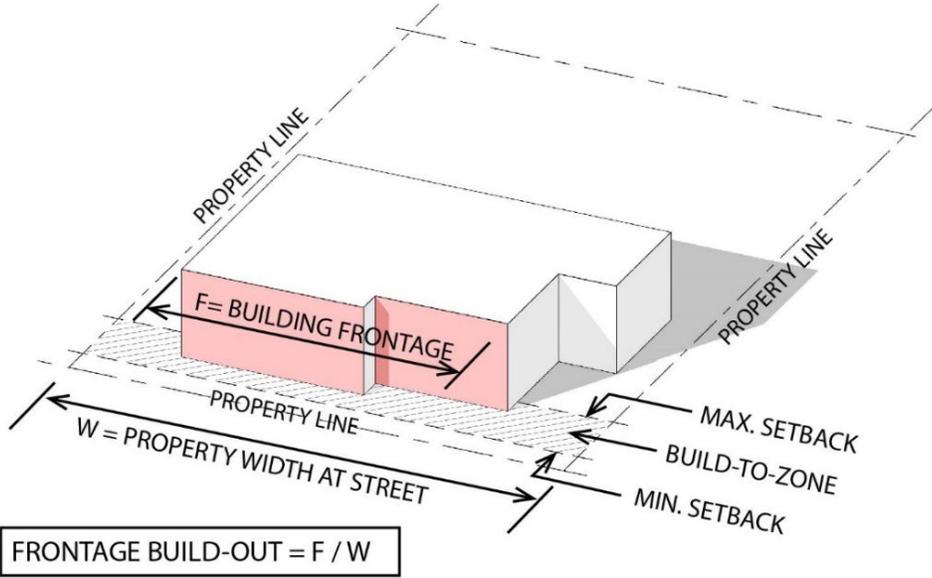


Fig. 106.55-2 Three-dimensional diagram illustrating Frontage Build-Out and Build-to-Zone

- (3) Parking: Parking shall be located to minimize the visual impact on the street and sidewalk. Two parking scenarios, as shown in Figure 106.55-3, are permitted as follows.
 - a. Scenario 1 – rear parking: Scenario 1 may be utilized in any sub-district within the Downtown District.
 - b. Scenario 2 – rear and side parking: Scenario 2 is permitted in the Downtown General and Downtown Edge sub-districts only. When using Scenario 2, the site must still be in compliance with the minimum Frontage Build-Out. When located on a corner lot, the side parking shall be located on the side away from the street.

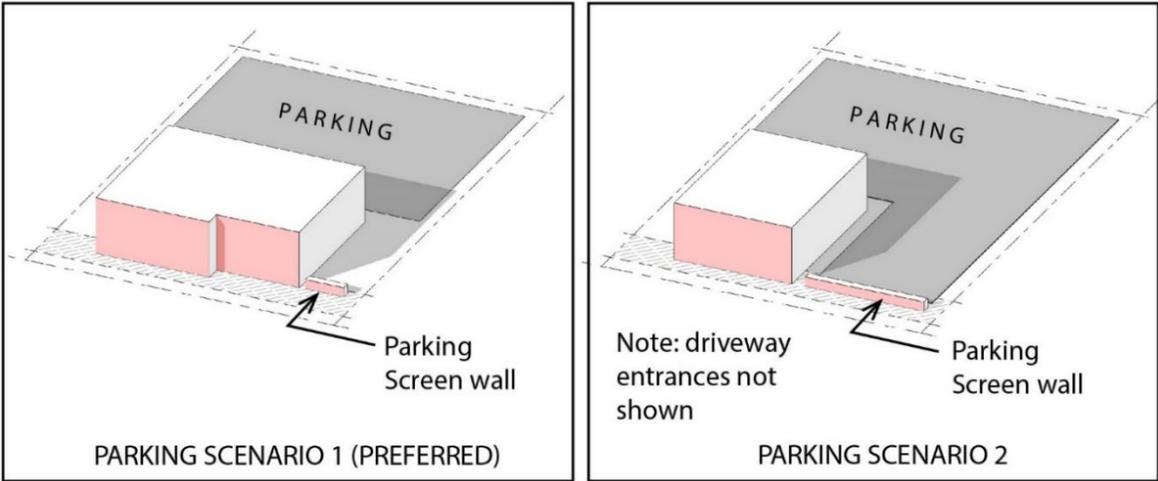


Figure 106.55-3 Parking Scenarios 1 and 2.

106.56 DOWNTOWN SUB-DISTRICT STANDARDS

A. PURPOSE

This section establishes the site development standards, such as building and parking setbacks, height, and density standards, for the three Downtown Sub-Districts – Downtown Core, Downtown General, and Downtown Edge.

B. DOWNTOWN CORE

GENERAL DESCRIPTION

The Downtown Core (DT-C) Sub-District is intended to provide for the development of mixed-use and nonresidential uses primarily along Main Street. It is intended to provide for a range of building heights that balance existing context with redevelopment potential. With the improvements to Main Street, the private realm standards focus on compatible infill development to fill any gaps along Main Street. This district allows for a range of commercial and upper floor residential uses that can create a vibrant downtown neighborhood. West of the railroad line, the scale is more neighborhood-focused with 1–3 story buildings, and east of the railroad, the scale could potentially allow for 3–5 story buildings given existing lot and block configuration. All off-street parking in this district shall be placed to the rear or to the side of the primary buildings facing Main Street. The standards in this section shall apply to all new construction, as well as additions to and remodeling of non-conforming structures within the DT-C.

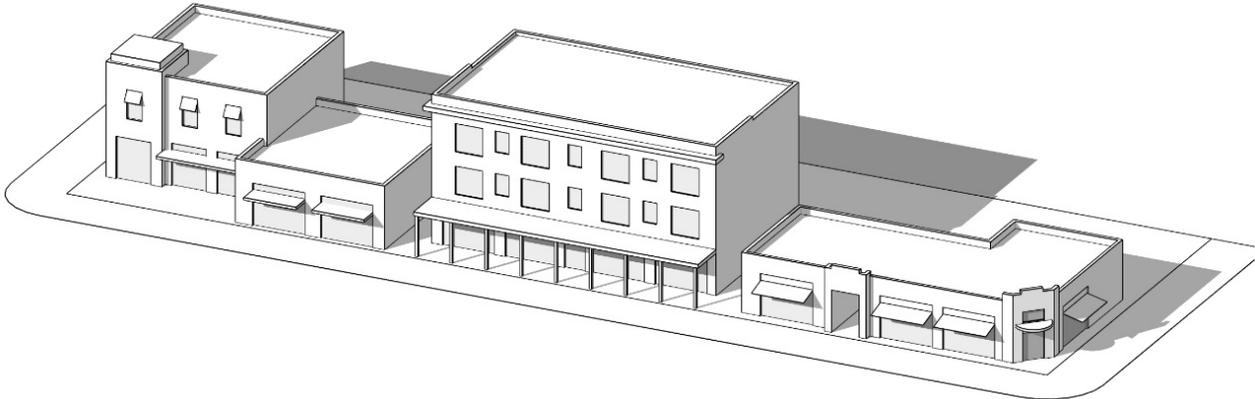


Illustration above shows the general scale and placement of buildings in the sub-district. Street improvements are not shown.



Images above show the general scale and character of buildings in the Downtown Core sub-district.

BUILDING PLACEMENT	
PRINCIPAL BUILDING PLACEMENT	
MAIN STREET FRONTAGE BUILD-OUT (MIN.)	80%
FRONT SETBACK (MIN.)	0 feet (but no less than 15 feet from the back of the curb along the Primary Street)
FRONT SETBACK (MAX.)	15 feet (up to 20 feet to accommodate outdoor dining, but not to exceed 50 percent of the Min. Frontage Build-Out)
SIDE SETBACK (MIN.) (SECONDARY STREET)	5 feet
SIDE SETBACK (MIN.) (INTERIOR)	0 feet
REAR SETBACK (MIN.)	5 feet (or minimum 15 feet from the center line of an alley where applicable)
LOT WIDTH (MIN.)	25 feet
Main Street shall be considered the Primary Street for all lots that have frontage along Main Street.	
Building encroachments into setback areas shall be permitted up to 50 percent into any required setback areas. Encroachments may include patios, awnings, signs, canopies, balconies, galleries, and similar building features.	

PARKING, ACCESS, & PLACEMENT	
PARKING PLACEMENT	
PRIMARY STREET SETBACK (MIN.)	Scenario 1
SECONDARY STREET SETBACK (MIN.)	Scenario 1 or Scenario 2
PARKING ACCESS	
DRIVEWAY ACCESS	Driveway access shall be from Secondary Street or Alley. Primary street driveway access may only be permitted if the lot has no Secondary Street or Alley access. Cross-access easements to adjoining parking lots shall be required where feasible.
PARKING COUNT	
MINIMUM REQUIRED PARKING	Refer to Article 7: Parking and Transportation of this Chapter.
SHARED PARKING	Refer to Article 7: Parking and Transportation of this Chapter.
RESIDENTIAL DENSITY	
MAXIMUM NUMBER OF DWELLING UNITS PER ACRE (NET DENSITY)	No maximum
BUILDING HEIGHT	
MAX. BUILDING HEIGHT (INCLUDING ACCESSORY BUILDINGS)	5 stories AND not to exceed 75 feet (taller buildings may be permitted with an SUP per Article 2: Procedures and Administration) Minimum ground floor interior clear height = 12 feet
STREETSCAPE STANDARDS	
MAIN STREET FRONTAGES	Buildings fronting on Main Street shall extend the existing sidewalk to the building frontage. The new sidewalks shall match the existing sidewalk in pattern and finish.
ALL OTHER STREETS	Buildings with all other street frontage shall also extend any existing sidewalk or construct a new sidewalk based on standards in Section 106.58(B) unless a fee-in-lieu is allowed by the city based on any planned capital improvement project.
ADDITIONAL REQUIREMENTS WITHIN THE ZONING REGULATIONS	
PERMITTED USES	Article 5. Use Standards
BUILDING DESIGN	Article 4. Special District Standards (Section 106.57)
STREET IMPROVEMENTS (INCLUDING CROSS SECTIONS)	Article 4. Special District Standards (Section 106.58(B))
OTHER APPLICABLE SECTIONS	Article 7. Parking and Transportation Article 8. Landscaping, Screening, and Open Space

C. DOWNTOWN GENERAL

GENERAL DESCRIPTION

The Downtown General (DT-G) Sub-District is intended to accommodate a wide range of development and redevelopment within the blocks immediately surrounding Main Street. This district allows for a range of retail, office, urban residential uses (lofts and apartments), and live/work uses that are compatible with the character and pattern of a walkable downtown.

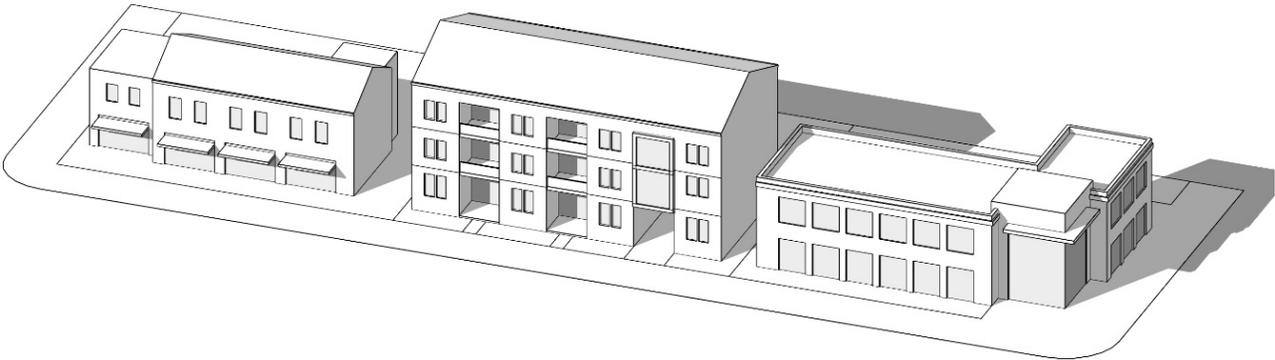


Illustration above shows the general scale and placement of buildings in the sub-district. Street improvements are not shown.



Images above show the general scale and character of buildings in the Downtown General sub-district.

BUILDING PLACEMENT

PRINCIPAL BUILDING PLACEMENT

PRIMARY STREET FRONTAGE BUILD-OUT (MIN.)	60%
FRONT SETBACK (MIN.)	5 feet (but no less than 15 feet from the back of the curb along the Primary Street)
FRONT SETBACK (MAX.)	20 feet
SIDE SETBACK (MIN.) (SECONDARY STREET)	5 feet
SIDE SETBACK (MIN.) (INTERIOR)	3 feet (0 feet for abutting townhome and live/work units)
REAR SETBACK (MIN.)	5 feet (or minimum 15 feet from the center line of an alley where applicable)
LOT WIDTH (MIN.)	25 feet

ACCESSORY BUILDING PLACEMENT

Accessory structures shall be placed behind the Principal Building and shall comply with the rear and side setbacks of the Principal Building.

PARKING, ACCESS, & PLACEMENT	
PRIMARY STREET SETBACK (MIN.)	Scenario 1 or Scenario 2
SECONDARY STREET SETBACK (MIN.)	Scenario 1 or Scenario 2 or 10 foot setback (if no building frontage along secondary street)
SIDE SETBACK (MIN.)	3 feet (interior lot line)
REAR SETBACK (MIN.)	2 feet (or min. 12 feet from the centerline of an alley)
PARKING COUNT	
MINIMUM REQUIRED PARKING	Refer to Article 7: Parking and Transportation of this Chapter.
SHARED PARKING	Refer to Section 106.85(F) in Article 7: Parking and Transportation of this Chapter.
RESIDENTIAL DENSITY	
MAXIMUM NUMBER OF DWELLING UNITS PER ACRE (NET DENSITY)	36
BUILDING HEIGHT	
BUILDING HEIGHT (MAX.)	4 stories AND not to exceed 60 feet (taller buildings may be permitted with an SUP per Article 2: Procedures and Administration)
ACCESSORY BUILDING HEIGHT (MAX.)	2 stories not exceeding 25 feet
ADDITIONAL REQUIREMENTS WITHIN THE ZONING REGULATIONS	
PERMITTED USES	Article 5. Use Standards
BUILDING DESIGN	Article 4. Special District Standards (Section 106.57)
STREET IMPROVEMENTS (INCLUDING CROSS SECTIONS AND STREETScape STANDARDS)	Article 4. Special District Standards (Section 106.58(B))
OTHER APPLICABLE SECTIONS	Article 7. Parking and Transportation Article 8. Landscaping, Screening, and Open Space

D. DOWNTOWN EDGE

GENERAL DESCRIPTION

The Downtown Edge (DT-E) Sub-District is intended to accommodate development and redevelopment within the blocks that are further south and west of the Downtown General district and immediately border single family neighborhoods. This area has some block definition, but the goal is to encourage redevelopment in to smaller-scale “missing middle” residential such as townhomes, duplexes, and small apartment buildings. The scale of redevelopment is intended to transition between the higher intensity of the Downtown Core and General to the adjoining neighborhoods. This district would also allow professional offices, personal service uses, and corner retail commercial uses.

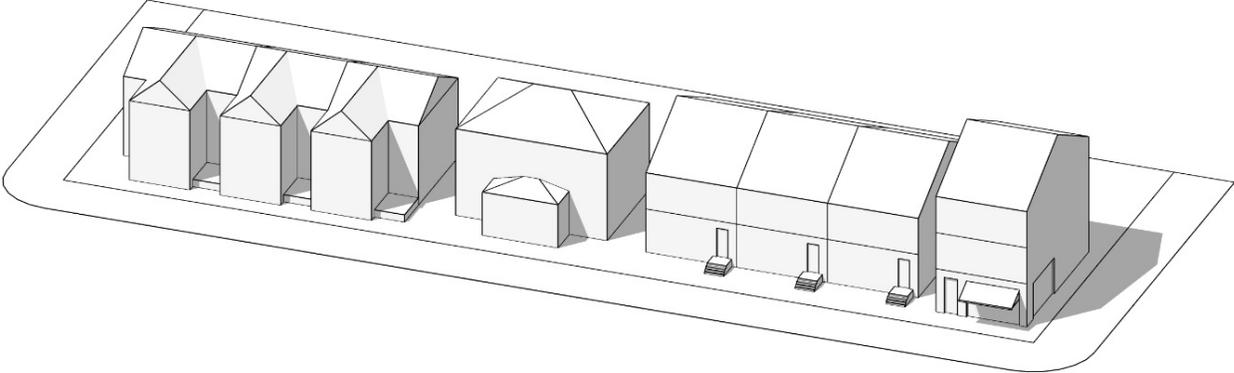


Illustration above shows the general scale and placement of buildings in the sub-district. Street improvements are not shown.



Images above show the general scale and character of buildings in the Downtown Edge sub-district.

BUILDING PLACEMENT

PRINCIPAL BUILDING PLACEMENT	
PRIMARY STREET FRONTAGE BUILD-OUT (MIN.)	60% (may be reduced to 50% for properties with no alleys or rear cross-access easements)
FRONT SETBACK (MIN.)	10 feet (5 feet for corner commercial uses)
FRONT SETBACK (MAX.) (ALL USES)	25 feet
SIDE SETBACK (MIN.) (SECONDARY STREET)	10 feet (5 feet for commercial uses fronting a secondary street)
SIDE SETBACK (MIN.) (INTERIOR)	5 feet
REAR SETBACK (MIN.)	5 feet (or minimum 15 feet from the center line of an alley where applicable)
LOT WIDTH (MIN.)	25 feet

ACCESSORY BUILDING PLACEMENT

Accessory structures shall be placed behind the Principal Building and shall comply with the rear and side setbacks of the Principal Building.

PARKING, ACCESS, & PLACEMENT	
PARKING PLACEMENT	
PRIMARY STREET SETBACK (MIN.)	Scenario 1 or Scenario 2
SECONDARY STREET SETBACK (MIN.)	Scenario 1 or Scenario 2 or 10 foot setback (if no building frontage along secondary street)
SIDE SETBACK (MIN.)	5 feet
REAR SETBACK (MIN.)	5 feet (or min. 12 feet from the centerline of an alley)
PARKING COUNT	
MINIMUM REQUIRED PARKING	Refer to Article 7: Parking and Transportation of this Chapter. On-street parking shall not count toward any required minimum.
SHARED PARKING	Refer to Section 106.85(F) in Article 7: Parking and Transportation of this Chapter.
RESIDENTIAL DENSITY	
MAXIMUM NUMBER OF DWELLING UNITS PER ACRE (NET DENSITY)	22
LOT WIDTH (MIN.)	25 feet
BUILDING HEIGHT	
BUILDING HEIGHT (MAX.)	3 stories AND not exceeding 35 feet
ACCESSORY BUILDING HEIGHT (MAX.)	2 stories not exceeding 25 feet
ADDITIONAL REQUIREMENTS WITHIN THE ZONING REGULATIONS	
PERMITTED USES	Article 5. Use Standards
BUILDING DESIGN	Article 4. Special District Standards (Section 106.57)
STREET IMPROVEMENTS (INCLUDING CROSS SECTIONS AND STREETScape STANDARDS)	Article 4. Special District Standards (Section 106.58(B))
OTHER APPLICABLE SECTIONS	Article 7. Parking and Transportation Article 8. Landscaping, Screening, and Open Space

106.57 DOWNTOWN BUILDING DESIGN STANDARDS

A. APPLICABILITY

This section shall apply to all new development and redevelopment (residential and nonresidential) within the DT Zoning District based on the proposed improvements per Table 106.57-1.

- (1) A Site Plan shall be required for all development other than single family detached and duplex residential and shall be per **Article 2: Procedures and Administration**.
- (2) Type 1 Site Plans may be approved administratively, and Type 2 Site Plans shall be approved by the City Council after a recommendation by the Planning and Zoning Commission.

Table 106.57-1 Building Design Standards Applicability Matrix		
■ = section applies “blank cell”= section does not apply		
	Downtown Design Standards	Comments
A. New construction	■	
B. Change of use/expansion of existing use (with NO increase in building area)		
C. Interior remodel of existing buildings with no increase in building footprint		
D. Expansion of building area		
i. 0% - 49% increase in building area regardless of increase in value of improvements 1. Standards in applicable sections shall apply only to the expansions	■	
ii. 50% or greater increase in building area AND any proposed improvements valued under \$100,000 1. Standards in applicable sections shall apply only to the expansions	■	
iii. 50% or greater increase in building area AND any proposed improvements valued at \$100,000 or more 1. Standards in applicable sections shall apply to the site including retrofitting of the existing building and site if non-complying, subject to Administrative Modifications in Article 2.	■	
E. Façade changes to existing buildings (regardless of value of improvements proposed)	■	Only standards that impact the building façade in each section shall apply
i. Addition of non-air conditioned space such as patios, porches, arcades, canopies, and outdoor seating areas	■	Standards shall apply if changes to the building are visible from any adjoining public street.
ii. Changes to any street-facing façade	■	Only standards that impact the building facade in each section shall apply

B. COMMERCIAL, MIXED USE, AND MULTIFAMILY BUILDING STANDARDS

(1) Building Orientation and Entrances:

- a. Buildings on lots with Main Street frontage shall be oriented toward Main Street with their primary building entrance located on that street. Buildings at street corners may have a chamfered (angled) entry (see Figure 106.57-1).
- b. Buildings along all other streets shall be oriented along their primary street frontage with the main building entrances from the sidewalk along that street (for example, a street with an address along Pecan Street shall have the main building entrance at the sidewalk along Pecan Street).
- c. All primary entrances shall be oriented to the public sidewalk or within a forecourt adjacent to a public sidewalk for ease of pedestrian access. Secondary and service entrances may be located from internal parking areas or alleys.
- d. Where a building is set back at the ground floor along Main Street or its primary street frontage, the setback area shall be paved flush with the sidewalk up to the front entrance.

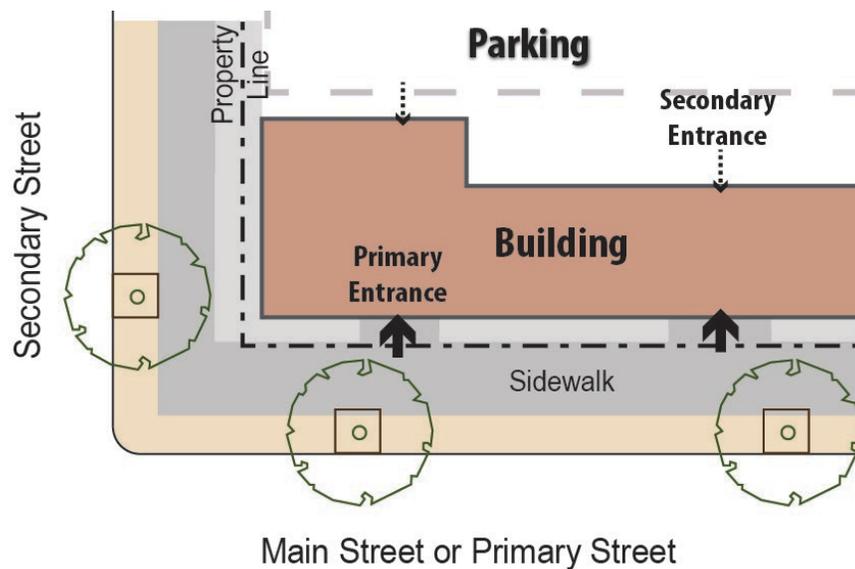


Figure 106.57-1 Illustration depicting the required building orientation and primary entrance

(2) Façade Composition and Massing:

- a. **Building Articulation:** Buildings having primary façades wider than 60 feet shall be designed to reduce apparent mass by dividing the primary façade into a series of smaller components. No individual component shall have a length of more than 60 feet nor less than 20 feet. Components shall be distinguished from one another through two or more of the following:
 1. Variations in roof form, variations in roof height, or parapet of two feet or more;
 2. Changes in wall plane of a minimum 24 inches (two feet) in depth;
 3. Variations in the arrangement and recessing of doors and windows;
 4. Recognizable changes in texture or material.
- b. **Corner Articulation:** At key intersections (typically a stoplight, stop sign, or a roundabout), buildings located on corner lots shall vary the building massing to

emphasize street intersections as points of interest in the district. Maximum building heights shall be permitted to exceed by 25 percent for approximately 25 percent of the building frontage along each street façade (see Fig. 106.57-2).

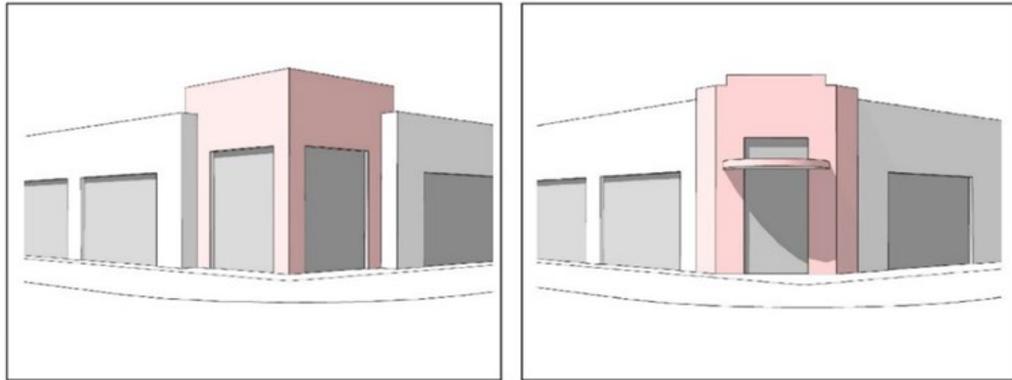


Figure 106.57-2: Illustration showing examples corner articulations. (Color is for emphasis only)

(3) Screening:

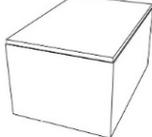
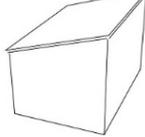
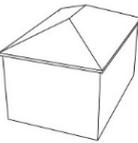
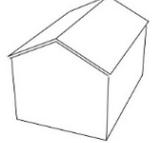
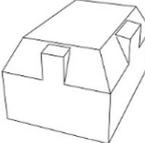
- a. **Roof Top Mechanical Equipment:** Exterior building walls shall be tall enough to shield all rooftop mechanical equipment from the view from any adjoining street (shall not include alleys). Other screening devices such as latticework, louvered panels, and any treatments that are compatible with the building's architecture may be considered on a case-by-case basis with approval by the Administrator and/or his or her designee.
- b. **Ground Mounted Equipment:** All ground-mounted mechanical equipment shall be screened within a masonry wall matching the building in material and color, or if located away from view from the public right-of-way, landscaping may be utilized.

(4) Windows and Transparency:

- a. At ground level, buildings shall have a high level of transparency. All façades and walls that face any street, pedestrian walkways, and plazas (except rear or side service façades) must have windows per Table 106.57-2 below. The percentage area shall be calculated by dividing the total fenestration area (measured from the exterior wall opening and between two feet and 10 feet vertically from the adjacent sidewalk grade), by the total façade area (including the windows and doors). Permanent opaque window coverings are prohibited on front façades. Glazing must allow views into the structure for a depth of at least four feet; tinting and reflective coatings must be minimized. The City Manager or designee may allow permanent artwork and/or permanent covered outdoor seating to substitute for glazing on side façades.

Table 106.57-2 Minimum Fenestration Standards	
Condition	Min. Fenestration Area
Ground floor, nonresidential use, facing Main Street	40%
Upper floors facing Main Street	25%
Ground floor, nonresidential use, facing side street	30%
All other conditions facing a public street (other than Main Street)	20%

- (5) **Building Materials:** The following materials are based on historical precedents in the community and the North Texas region. The selected architectural materials must reflect a sense of quality and permanence. The following materials shall be permitted based on the type of development (single family materials are specified in Section 106.57(D)(4):
 - a. All Buildings (except single family residential): Brick, stone, three-step stucco, wood, certain cementitious fiberboard, and concrete shall be permitted. EIFS (engineered insulated finishing systems) may be used at heights above ten feet from grade for cornices, medallions, and other architectural details and elements.
- (6) **Façade Color:** Façade colors shall be low reflectance, subtle, neutral, or earth tone colors. The use of metallic colors, black, or fluorescent colors may only be allowed with an Administrative Modification and shall not exceed 5 percent of any façade (including door and window area).
- (7) **Roof Forms and Materials:** Variations in rooflines shall be used to add interest and reduce the scale of large buildings. Roof features shall correspond to and denote building elements and functions such as entrances, arcades, canopies, etc. They shall also complement the character of the overall development. Roof forms and materials permitted shall be based on the Downtown Sub-District as shown in Table 106.57-3.

Table 106.57-3: Roof Types and Materials									
■ = Permitted				"Blank Cell" = Not Permitted					
				Downtown Core	Downtown General	Downtown Edge			
PARAPET	FLUSH EDGE	PROJECTING	SHED						
									
HIP	GABLE	BARREL VAULT	MANSARD						
PERMITTED ROOF TYPES BY ZONE									
Parapet	■	■	■						
Flush edge	■	■	■						
Projecting	■	■	■						
Asymmetrical shed roof with slope less than 6:12		■	■						
Hip		■	■						
Gable		■	■						
Barrel Vault	■	■	■						
Mansard									
ROOF MATERIALS									
Any material that is not visible from the public ROW or public easement and that has an <i>Initial Solar Reflectance</i> of greater than or equal to 0.65	■	■	■						
Standing seam metal, light gray or natural metallic color	■	■	■						
Green roofs	■	■	■						
Corrugated metal, light gray or natural metallic color									
Structural glass or structural composite translucent panels used for skylights and canopies	■	■	■						
Asphalt shingles						■			
Materials not appearing on this list will be presumed to be NOT PERMITTED unless the Administrator determines that the proposed material shares the attributes and characteristics of a roof material that is permitted.									

- (8) Shading devices: Shading devices shall be required along all new building façades along Main Street for a minimum of 50 percent of the façade width. Along all other streets, shading devices are encouraged. Examples of permitted and not permitted shading devices are shown in Figure 106.57-3 below.
- a. Awnings shall be fabricated from fabric with a metal frame. Vinyl awnings are not permitted.
 - b. Suspended awnings, galleries, and arcades are to be fabricated of metal.

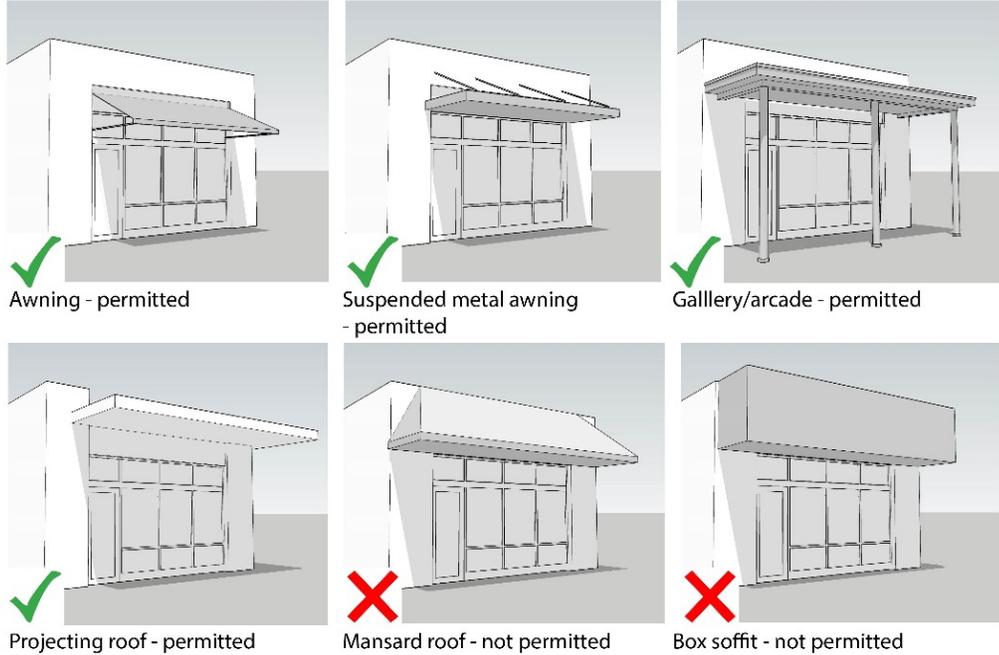


Figure 106.57-3 Examples of permitted and non-permitted shading devices

(9) Sidewalk cafes: All sidewalk café areas shall be located within the encroachment zone between the sidewalk zone (SW) and the building façade (see Fig. 106.57-4 and Section 106.58(B) for Streetscape Standards). Dining areas shall comply with the Americans with Disabilities Act standards and any requirements for enclosed areas as per state alcohol and beverage commission requirements. Sidewalk cafes shall be permitted through an administrative site plan review process in accordance with the table of permitted uses.

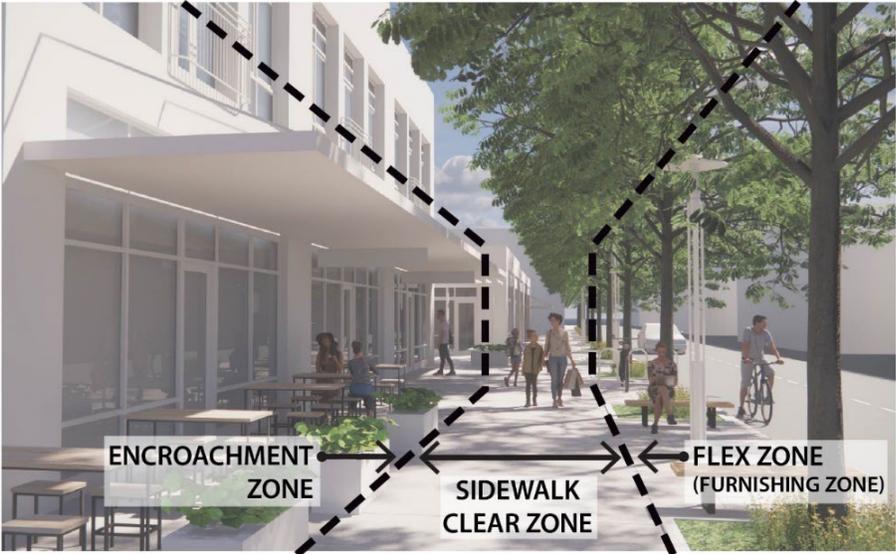


Figure 106.57-4 Illustration showing the main components of the sidewalk.

- (10) **Building Lighting:** All outdoor lighting (building and site) shall comply with the International Dark Sky Association (IDA)'s model ordinance (dated 2011), including the use of cutoff fixtures, utilizing optical systems, and shielding to prevent light from being directed above 90 degrees from horizontal.

C. DESIGN OF STRUCTURED PARKING FACILITIES

- (1) All frontages of parking structures located on Main Street shall not have parking uses on the ground floor to a minimum depth of 30 feet along the Main Street frontage.
- (2) The amount of Main Street frontage devoted to a parking structure shall be minimized by placing the shortest dimension(s) along the Main Street edge(s).
- (3) Where above-ground structured parking is located on upper floors at the perimeter of a building with frontage along Main Street, it shall be screened in such a way that cars on all parking levels are completely hidden from view from all adjacent public streets. Parking garage ramps shall not be visible from any public street. Unless site conditions do not allow or if an alternative design achieves the screening requirements, subject to review and approval by the administrative official, ramps shall not be located along the perimeter of the parking structure. Architectural screens shall be used to articulate the façade, hide parked vehicles, and shield lighting.
- (4) When parking structures are located at corners, corner architectural elements shall be incorporated such as corner entrance, signage, and glazing. Retail or faux retail storefronts are required for all parking structure corners and for any side facing a public street.
- (5) Parking structures and adjacent sidewalks shall be designed so pedestrians are clearly visible to entering and exiting automobiles.



Figure 106.57- 5 Images showing parking garage design examples

D. SINGLE FAMILY AND DUPLEX BUILDING DESIGN STANDARDS

- (1) At least one of the following shall be added along residential building façades to add pedestrian interest along the street (Figure 106.57-6):
 - a. porches;
 - b. stoops;
 - c. eaves; or
 - d. balconies.
- (2) If a residential use building is set back less than 10 feet from the front property line, the grade of the slab or first floor elevation shall be elevated at least 12 inches above the grade of the sidewalk. If the residential structure is set back 10 feet or more from the

front property line and is not elevated at least 12 inches above the grade of the sidewalk, a low fence (no higher than three feet) shall be provided at the front property line.

- (3) Windows and Doors: All building façades of residential use buildings under this section shall meet the transparency requirements established in Table 106.57-2.
- (4) Building Materials:
- Awnings and canopies*: Vinyl and/or plastic shall not be allowed.
 - Single family detached*: Brick, stone, and concrete shall be permitted. Wood and three-step stucco shall be permitted for up to 20 percent of each façade.
 - Single family attached (townhomes)*: Brick, stone, and concrete shall be permitted. Concrete block or cinder block shall be permitted with a specific use permit (SUP).



Figure 106.57-6 Residential buildings with porches, fencing, balconies, and stoops to add interest along the street

E. CONVERSIONS OF RESIDENTIAL BUILDINGS FOR COMMERCIAL USES

In order that residential structures may be used for commercial/office uses, the following conditions are applied to all residential conversions.

- The reuse shall meet all applicable building code regulations for the use and occupancy requested.
- Parking shall be located to the side or rear of the structure in order to preserve the residential- style front yard of the original structure.

106.58 DOWNTOWN LANDSCAPING AND STREETSCAPING STANDARDS

A. LANDSCAPING STANDARDS

- Parking Lot Landscaping:** Any surface parking areas that contain 10 or more parking spaces shall provide interior landscaping, in addition to the required landscaped street buffer, as follows:
 - 10 square feet of landscaping for each parking space shall be provided within the paved boundaries of the parking lot area;
 - Where an existing parking lot area is altered or expanded to add 10 or more spaces or results in a parking lot of 20 spaces or more, interior landscaping shall be provided on the new portion of the parking lot in accordance with this Chapter; and
 - All surface parking lots shall incorporate the required landscaping as follows:
 - Provide one canopy tree for every 10 parking spaces provided.

2. Canopy trees shall be located in landscape islands in the parking lot.
3. Landscaped islands shall be a minimum of one hundred and fifty (150) square feet, not less than eight feet wide, and a length equal to the abutting parking space.
4. All landscaped areas shall be protected by a raised concrete curb. The Administrator may approve a curbless design per iSWM (integrated Stormwater Management Manual, NCTCOG) standards.
5. No paving shall be permitted within four feet of the center of a tree trunk.

(2) Landscape Buffers:

- a. All development with any off-street surface parking between any building and the street right-of-way shall provide a landscape buffer of a minimum of six feet in width along the roadway. A landscape buffer shall not be required when the building is located in a zoning district requiring ten feet or less of a setback along that street.
- b. Planting required within the Landscape Buffers:
 1. The landscape buffer area shall consist of living trees, turf, or other living ground cover and shall be provided adjacent/parallel to the right-of-way.
 2. One canopy tree, three inch caliper minimum, shall be planted on an average spacing of no less than 50 feet centers within the required landscape buffer area.
 3. A minimum of 15 shrubs with a minimum size of five gallons each will be planted in the landscaped area for each 50 feet of linear frontage.
- c. Parking abutting the landscape area will be screened from the adjacent roadway per Section 106.58(A)(3) below. If a vegetative screen is chosen, it may be counted towards the required shrubs in the landscape buffer.

(3) Parking Lot Screening (see Figure 106.58-1):

- a. All parking, maneuvering, customer loading areas, vehicular display, and storage areas that are not screened by on-site buildings shall be screened from view of public streets pursuant to the standards of this section.
- b. Parking lot screening shall be maintained at a minimum of three feet and maximum of four feet in height (or minimum of two feet at the time of planting for vegetative buffers) and planted within the landscape buffer.
- c. Parking lot screening materials may be either:
 1. The same building material as the principal structure on the lot; or
 2. A vegetative screen composed of shrubs planted to be opaque at maturity; or
 3. A combination of the two.
- d. If a vegetative screen is selected, the shrub species shall be selected from the Planting List in Table 106.92-3 and may count towards the planting requirement in the landscape buffer area.
- e. Parking lot screens shall not block any required sight triangles along a cross street or driveway.
- f. Parking lot screens may include breaks to provide pedestrian access from any surface parking or service area to the public sidewalk.
- g. Wheel stops shall be provided for parking spaces adjacent to a landscape setback where no curb is provided to prohibit any car overhang over the planting area. Wheel stops shall be located two feet from the landscape setback.

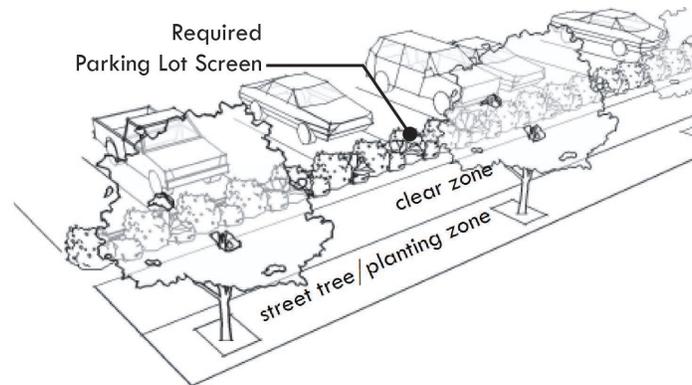


Fig. 106.58-1 Illustration of required parking lot screening

- (4) **Parking Lot Lighting:** All parking lot and site lighting shall comply with the International Dark Sky Association (IDA)'s model ordinance (dated 2011), including the use of cutoff fixtures, utilizing optical systems, and shielding to prevent light from being directed above 90 degrees from horizontal.

B. STREETScape STANDARDS

- (1) Unless already installed, streetscape improvements shall be required along all public and private street frontages of a lot at the time of development or redevelopment unless a fee-in-lieu option is chosen by the applicant. Streetscape standards shall meet the standards in this subsection.
- a. *Fee-in-Lieu Option:* With review and approval of the Administrator, an applicant may propose to pay a proportional fee-in-lieu for the required streetscape if the development project is under an acre, in the middle of a block with no adjoining streetscaped lots, or adjacent to existing lots that do not have the streetscape improvements. The fee-in-lieu shall be based on a per linear foot cost of the streetscape including all elements to be placed between the curb and property line as required by this subsection.
- (2) Standards in Table 106.58-1 shall apply for all Downtown development. The minimum width requirements shall apply regardless of the available right-of-way. If necessary to meet the required width, the sidewalk shall extend onto private property to fulfill the minimum requirement, with a sidewalk easement provided.
- a. *Flex Zone (FZ):* The flex zone (or planting zone) is intended for the placement of street trees, where feasible, and street furniture including seating, street lights, waste receptacles, fire hydrants, traffic signs, bicycle racks, public utility equipment such as electric transformers and water meters, and similar elements in a manner that does not obstruct pedestrian access or motorist visibility (see Figure 106.58-2).
 - b. *Sidewalk Zone (SW):* The sidewalk zone shall be hardscaped, shall comply with ADA and Texas Accessibility Standards, and shall be unobstructed by any permanent or nonpermanent element for the required minimum width and a minimum height of eight feet (see Figure 106.58-2). All sidewalks shall connect to other existing adjacent sidewalks if available on adjoining lots.
- C. *Encroachment Zone (EZ):* The encroachment zone is the area along the public sidewalk on private property that includes porches, stoops, awnings, sidewalk cafes, and other similar elements.

Table 106.58-1 Streetscape Standards

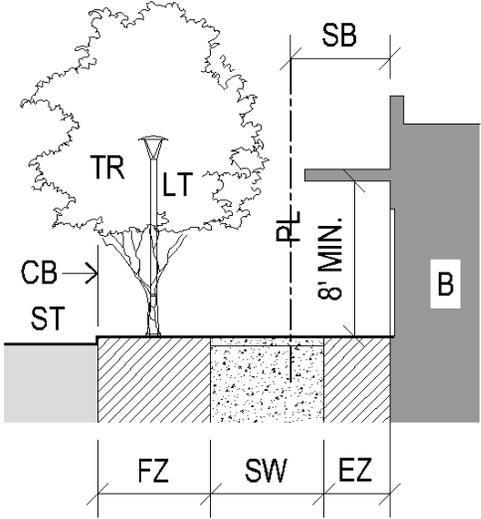


Figure 106.58-2: Arrangement of required streetscape elements

STREETSCAPE - SECTION VIEW

The standards in this section may be modified by the Administrator based on approval from the City Engineer and Fire Marshal and based on the specific development context. However, the two major elements of the FZ and SW shall be implemented even if the widths have to be modified to accommodate site specific conditions. This applies to all streets other than Main Street within the Crowley Downtown District.

SW	Sidewalk: Min. 6 feet clear width (with no encroachments).	SB	Building Setback – refer to site development standards.
FZ	Flex Zone: Min. 8 feet (intended to accommodate on-street parking within the FZ).	TR	Street Trees: provide according to Section 106.58(B)(3).
EZ	Encroachment Zone: Varies per setback requirements.	LT	Pedestrian lighting is required. Locations to be coordinated with street trees.
B	Building as permitted according to district standards.	PL	Property line. Verify location relative to sidewalk. A pedestrian access easement may be required.

- (3) Street Trees:
 - a. Street trees shall be centered within the FZ and be planted a minimum of three feet from the face of curb.
 - b. Spacing shall be an average of 30 feet (measured per block face).
 - c. The minimum caliper size for each tree shall be three inches and shall be a minimum of seven feet in height at planting. Each tree shall be planted in a planting area no less than 36 square feet.
 - d. Species shall be selected from Canopy Trees in Table 106.92-3, Approved Planting List.
 - e. Installation and maintenance of all landscape materials shall meet the requirements in **Article 8: Landscaping, Screening, & Open Space Standards**.

106.59 PLANNED DEVELOPMENT DISTRICTS

A. PURPOSE AND INTENT

The Planned Development (PD) District is established to provide an alternative to the base zoning districts and other special zoning districts established in this Chapter. The PD district is intended to accomplish the following:

- (1) To permit greater flexibility for new development or redevelopment projects to best utilize the physical features of the particular site in exchange for greater public benefits than would otherwise be achieved through development under this Chapter.
- (2) To ensure that any development impacts that occur through the use of greater flexibility in development standards and uses are offset by public benefits and that any negative impacts are mitigated to the extent feasible so as to minimize the impacts on adjoining properties.
- (3) To encourage the provision and preservation of meaningful and usable open space.
- (4) To encourage innovative and integrated design of buildings and uses within a larger master planned context of the PD district.

B. PLANNED DEVELOPMENT DISTRICT STANDARDS

- (1) Minimum Area Required for a Planned Development District:
 - a. The minimum size for a Planned Development District is two contiguous acres.
 - b. The minimum access width to a Planned Development District from any existing public street is 50 feet.
 - c. All PDs shall have a minimum of 10 percent of the site dedicated to usable open space. Open space shall meet the standards in **Article 8: Landscaping, Screening, & Open Space Standards**.
- (2) Land Use Mix: A PD may provide for a mix of any number or types of uses, provided each use requested appears on the Schedule of Permitted Uses in **Article 5: Use Regulations**.
- (3) Development Regulations:
 - a. In approving a planned development or a use designation in a planned development, the City Council, upon recommendation of the Planning and Zoning Commission, shall specify density, area, height, screening, parking, landscaping, and other development criteria as may be required in **Article 2: Procedures and Administration**.
 - b. Such standards shall be indicated on the development plan and shall be made a part of the ordinance. No property located in a planned development district shall be modified as to density, area, height, screening, parking, landscaping, or other development criteria unless a development plan containing such revised development criteria is approved.

C. REVIEW PROCEDURES

The review and approval procedures in **Article 2: Procedures and Administration** under Concept Plan, Development Plan, and Site Plan shall apply, including standards for modifications to approved PDs.

106.60 MIXED-USE DISTRICT

A. PURPOSE AND INTENT

The Mixed-Use District is intended to implement the Mixed-Use land use designations and recommendations in the City of Crowley Comprehensive Plan. For all areas designated as Mixed-Use in the Crowley Future Land Use Plan, the Mixed-Use Zoning District shall be the appropriate district for all rezoning requests.

B. GENERAL

Boundaries of the Mixed-Use Districts and associated sub-districts, basic street network, and stormwater management areas shall be developed through the creation of Concept Plans and/or Development Plans at the time of zoning change per **Article 2: Procedures and Administration**.

C. SUB-DISTRICTS ESTABLISHED

- (1) Mixed-Use Core: Intended to have a mix of retail, office, retail service, and a range of residential uses in addition to civic and open spaces to create a vibrant, walkable environment.
- (2) Mixed-Use Transition: Intended to be predominantly residential with a mix of both attached and detached residential, with small office and local retail to appropriately transition between neighborhoods to commercial uses.
- (3) Mixed-Use Neighborhood: Primarily single family residential with a variety of types and sizes of lots.

D. CONCEPT PLAN

If a revised Concept Plan or request for new property zoning is submitted, then application of sub-districts within the Concept Plan shall adhere to the following requirements.

- (1) A Concept Plan cannot be composed of just one single sub-district for the entire area.
- (2) At least two sub-districts shall be designated within any Concept Plan.
- (3) If the Mixed-Use Neighborhood is used, then the Mixed-Use Transition sub-district shall be used to buffer the Mixed-Use Neighborhood from the Mixed-Use Core.

E. STREET TYPES

Pedestrian-Oriented Streets are used within the Concept Plan to achieve a higher level of pedestrian activity and connectivity. The amount of the required Pedestrian-Oriented Streets in any one Concept Plan is determined by the sub-district, within the Development Standards Table 106.60-1 below. Pedestrian-Oriented Streets include design considerations as follows:

- (1) Low-speed design to keep vehicle speeds at or below 25 mph;
- (2) Including the use of traffic calming designs (narrowing of pavement section, striping, elevated crosswalks, brick pavers, etc.);
- (3) Limiting the use of curb cuts along the Pedestrian-Oriented Street;
- (4) Planting street trees between the curb and the sidewalk, or within tree-wells in the sidewalk area;
- (5) Adhering to the setback range according to the Development Standards Table; and

- (6) Utilizing shading devices along the nonresidential or mixed-use building frontage, such as porches, awnings, pergolas, and other similar shade devices.

F. DEVELOPMENT STANDARDS

In order to produce a Concept Plan within any Mixed-Use District, the following development standards shall be used. Where items are marked as “flexible” in Table 106.60-1, the applicant shall provide a proposed standard with Concept Plan submittal.

Table 106.60-1: Mixed Use District Development Standards Table

<i>Development Standard</i>	<i>Sub-District</i>	<i>Mixed-Use Core</i>	<i>Mixed-Use Transition</i>	<i>Mixed-Use Neighborhood</i>
1. Building and Site Standards				
a. Principal Building Height*		5 stories or 65 feet	3 stories or 45 feet	3 stories or 45 feet
* Building height shall be measured in number of stories up to the maximum height permitted. Habitable attics and mezzanines shall be excluded from the height calculation as long as they do not exceed 50 percent of the floor area of a typical floor in the same building. Heights shall be measured to the top of parapet or to the eaves of a pitched roof.				
b. Setbacks (max. and min.)**	Note about measuring setbacks: In cases where the ROW is established at the curb line of streets, setbacks shall be measured from the edge of the pedestrian easement or streetscape zone closest to the building face along that street.			
Front – Pedestrian-Oriented Streets or Improved Public Space		Min. setback = 5 feet – 15 feet; ¹ Max. setback = 25 feet	Min. setback = 5 feet - 15 feet; ² Max. setback = 25 feet	Min. setback = 5 feet - 15 feet; ² Max. setback = 25 feet
Front – All Other streets		Min. setback = 5 feet; Max. setback = flexible	Min. setback = 5 feet; Max. setback = flexible	Min. setback = 5 feet; Max. setback = flexible
Side		Flexible	Min. 10 feet when adjacent to single family	Min. 10 feet when adjacent to single family
Rear		Flexible	Min. 10 feet when adjacent to single family	Min. 10 feet when adjacent to single family
c. Minimum Building Frontage ²				
Pedestrian-Oriented Frontage		75%	60%	60%
All Other Frontages		None required	None required	None required
¹ For the purpose of setbacks, buildings fronting on “mews”, Pedestrian Street, Paseo, or similar improved public space (park, plaza, or other civic feature) between the street/sidewalk can measure the setbacks from the edge of such Pedestrian Street, Paseo, or Mews.				
² Corner building façades at street intersections shall be built within the setback range for a minimum of 30 feet from the corner along both streets or the width of the corner lot, whichever is less. This standard shall apply to any street intersection with a Pedestrian-Oriented Street designation. Street frontages adjacent to open space shall count towards the percent (%) requirement for the Pedestrian-Oriented Frontage.				
d. Accessory Buildings		Permitted	Permitted	Permitted
Standards for accessory buildings, structures, and dwellings shall be provided by the applicant. The standards shall result in these accessory uses being smaller in size and scale to the principal building. Accessory building shall be a necessary component to the primary use.				
e. Principal Building Orientation	Buildings shall be oriented to a Pedestrian-Oriented Street frontage or toward another focal point such as open space or environmental feature. If neither is available, buildings shall orient toward the other street.			
f. Building Façade & Architectural Design Standards	The applicant shall propose appropriate building façade and architectural design standards for all the sub-districts in the development with the application for Concept Plan. They shall be based on the criteria established in Article 6: Building Design Standards .			
**Minimum and/or maximum setback standards shall be proposed by the applicant for each sub-district based on the above criteria and Development Standards established in this Section. All buildings shall be required to meet Fire Code and International Building Code as adopted by the City of Crowley.				
2. Block and Lot Standards				
a. Block Type	Regular (square or rectangular) Irregular blocks may be permitted only if natural topography, existing roadways, and/or vegetation prevents a rectilinear grid.			

Table 106.60-1: Mixed Use District Development Standards Table

Development Standard	Sub-District	Mixed-Use Core	Mixed-Use Transition	Mixed-Use Neighborhood
b. Block Perimeter (edge of a block may be created by public or private street, green space, or easement)*		Max. block perimeter = 2,400 feet (Block perimeter maximum can be exceeded with either public or private roads that create interconnected access within parking areas and/or safe pedestrian connections accessing through the larger block)	Max. block perimeter = 3,000 feet	Max. block perimeter = 3,600 feet
* A private street or private drive is a street built to subdivision standards but is not dedicated as right-of-way and is maintained by private developer, organization, or association.				
c. Pedestrian-Oriented Development Frontage (frontages along open spaces shall be considered pedestrian-oriented development frontage)		Minimum of 40% of all new block frontages to be designated as Pedestrian-Oriented Development Frontage	Minimum of 40% of all new block frontages to be designated as Pedestrian-Oriented Development Frontage	Not Applicable
d. Residential Density		No maximum	24 DU/acre	8 DU/acre
e. Lot Area		No minimum or maximum	2,000 square feet minimum	4,000 square feet minimum
f. Lot Width		No minimum or maximum	22 feet width minimum	35 feet width minimum
g. Minimum Lot Size/Type Mix Required		None	20% minimum required to be townhome (single family attached) and/or live-work, which shall be used as a transition between single family housing and commercial development. Overall, at least 2 lot sizes/types with at least 20% minimum for each type used. Types: 1. 35 feet or less in width; 2. 48 feet or less in width (Categories 1 and 2 shall be a maximum of 50% of lots within Concept Plan) 3. 49 feet–59 feet 4. 59 feet–69 feet	Overall, at least 3 lot sizes/types with at least 20% minimum for each type if only 3 types are used. Zero-lot line lots shall also be permitted as a different lot type. Types: 1. 48 feet or less in width (maximum of 30% of lots within Concept Plan) 2. 49 feet–59 feet 3. 59 feet–69 feet 4. 69 feet or greater
h. Maximum Lot Coverage		90%	80%	70%
3. Street Design Standards				
These standards shall apply to all new streets, public and private, located in the MU Districts including any streets established by the City's Master Thoroughfare Plan where feasible. Streets shall provide a safe and inviting walking environment through an interconnected network of roads with sidewalks, street trees, street furniture, and amenities. Cul-de-sacs shall be limited to locations where natural features such as topography or stream corridors prevent a street connection. The pedestrian zones, travel lane widths, turning radii, intersection design, bicycle facilities, and other street elements shall be based on the <i>ITE Manual for Designing Walkable Urban Thoroughfares</i> and/or <i>NACTO's Urban Street Guide and Bicycle Guide</i> . Those standards may be adjusted based on the specific Concept Plan and/or Development Plan with the approval of the Administrator. Bicycle facility widths may be modified based on the City's adopted Master Thoroughfare Plan standards.				
a. On-Street Parking (along all internal streets except alleys)				
• Parallel		Permitted	Permitted	Permitted
• Angled (head-in or reverse angled)		Permitted	Permitted	Permitted

Table 106.60-1: Mixed Use District Development Standards Table

<i>Development Standard</i>	<i>Sub-District</i>	<i>Mixed-Use Core</i>	<i>Mixed-Use Transition</i>	<i>Mixed-Use Neighborhood</i>
• Head-in perpendicular		Permitted only when it is: i. No more than half a block; and ii. Not placed along a pedestrian-oriented street	Not permitted	Not permitted
b. Parking Lane Width (min.) • Parallel • Angled • Head-in		8 feet 9 feet x 18–20 feet 9–10 feet	8 feet 9 feet x 18–20 feet n/a	8 feet 9 feet x 18–20 feet n/a
c. Alleys ³		Permitted	Permitted	Permitted
d. Pedestrian-Only Street or Mews Frontage (with rear vehicular access subject to fire lane requirements)		Permitted; Min. width 30 feet (building face to building face)	Permitted; Min. width 30 feet (building face to building face)	Permitted; Min. width 30 feet (building face to building face)
e. Off-Street Parking Location		i. Behind the principal building or to the side of the principal building as long as the minimum pedestrian-oriented building frontage is met. ii. Shall not be located at any street intersection with a pedestrian-oriented street. iii. May be located along any arterial street or highway frontage road frontage.	i. Behind the principal building or to the side of the principal building as long as the minimum pedestrian-oriented building frontage is met. ii. Shall not be located at any street intersection with a pedestrian-oriented street.	i. Behind the principal building or to the side of the principal building as long as the minimum pedestrian-oriented building frontage is met.
³ Lots 48 feet in width or less shall have garage access from the side (for corner lots) or from an alley or common/shared driveway at the rear of the lot.				
4. Streetscape Standards				
a. Sidewalks/ Walkways (min.)		8 feet	6 feet	6 feet
b. Trails (min.)		If trail is on Parks & Trails Master Plan, use the specified width. Otherwise, must be 10 feet minimum.	If trail is on Parks & Trails Master Plan, use the specified width. Otherwise, must be 8 feet minimum.	If trail is on Parks & Trails Master Plan, use the specified width. Otherwise, must be 8 feet minimum.
c. Street Trees		Required	Required	Required/Flexible
The applicant shall submit a proposed street tree planting plan, including a tree palette and spacing as a part of the Landscape Concept Plan, which shall be reviewed as part of the Concept Plan or may be deferred to the Development Plan at the discretion of the Administrator.				
5. Open Space Standards				
a. Open Space*		Required (squares, greens and plazas)	Required (squares, greens, playgrounds, parks and plazas)	Required (playgrounds, parks and greens)
<i>*Overall open space allocations in the district shall be a minimum of 10 percent of the gross area of the entire site included in the Concept Plan and shall generally be distributed equally between the sub-districts. Up to 50 percent of stormwater detention or retention, or preserved and enhanced floodplain [when incorporating passive or active recreation (i.e., trails, ball fields, etc.)] shall be counted towards the open space requirement within the Concept Plan. Definitions for open space types and additional information on the design of Open Space shall be per Article 8: Landscaping, Screening, & Open Space Standards</i>				
6. Parking & Screening Standards				
a. Off-Street Parking Minimum		Article 7: Parking and Transportation shall apply.		
b. Off-Street Loading		Encouraged to be placed along an alley or parking area and not be placed along pedestrian-oriented streets. Screening required if along a street.		
c. Screening		Required for nonresidential uses.		
1. Trash/recycling receptacles		Flexible for residential uses but shall not be visible from a public right-of-way (other than an alley); trash collection shall be along alleys if alleys are provided.		
2. Other utility equipment		See Article 8: Landscaping, Screening, & Open Space Standards .		
3. Loading spaces		Screening required for nonresidential loading spaces per Article 7: Parking and Transportation .		
4. Surface parking areas		Required/Flexible (shall be per Article 5: Use Regulations or applicant may propose alternative screening standards at the time of Concept Plan.)		

Table 106.60-1: Mixed Use District Development Standards Table				
<i>Development Standard</i>	<i>Sub-District</i>	<i>Mixed-Use Core</i>	<i>Mixed-Use Transition</i>	<i>Mixed-Use Neighborhood</i>
7. Landscape and Streetscape				
a. Landscaping ⁴ 1. Landscape/fencing buffer between surface parking and sidewalks/trails and streets (except alleys)		Required only for nonresidential uses. Landscaping shall be permitted to use fountains, outdoor speakers, and special lighting in gathering spaces, plazas, and other public spaces.		
2. Parking Lot Minimum Interior Landscaping		Article 8: Landscaping, Screening, and Open Space Standards shall apply.		
b. Lighting 1. Street lighting 2. Building entrances 3. Parking areas 4. Trails and sidewalks		Required 1. Street lighting: a. Pedestrian-oriented lighting shall be no taller than 16 feet high and shall be spaced an average of 50 feet on center, coordinated with street trees. 2. Building/Unit Entrances shall have a minimum of one sconce or lighting device placed adjacent to the doorway. 3. Parking Areas shall be lit according to Article 7: Parking and Transportation . 4. Trails and Sidewalks: In the absence of vehicular-oriented lighting, pedestrian-oriented lighting shall be used for appropriate lighting of the pedestrian facilities.		
<p>⁴The applicant shall provide a landscape Concept Plan with the Concept Plan application that meets the requirements of Article 8: Landscaping, Screening, and Open Space Standards or proposes equitable alternative standards to Article 8. Alternative landscape standards shall identify landscape themes and general design approach addressing street tree planting, streetscape treatments, any required screening, parking lot landscaping, and landscaping proposed in all the identified open space areas. Information provided at the Concept Plan phase may be schematic meeting the design intent of the proposed development. All or portions of the Landscape Plan may be deferred until Development Plan or Site Plan with the approval of the Administrator.</p>				

106.61 – 106.64: RESERVED