



Regular Session  
Council Agenda Packet  
May 20, 2021

# CITY OF CROWLEY

## CITY COUNCIL

### Council Regular Session

### May 20, 2021

### ATTENDANCE SHEET

	<u>Worksession</u>	<u>Regular</u>
Council Member Johnny Shotwell, Place 1	_____	_____
Council Member Jerry Beck, Place 2	_____	_____
Mayor Pro Tem Jesse Johnson, Place 3	_____	_____
Council Member Jim Hirth, Place 4	_____	_____
Council Member Jimmy McDonald, Place 5	_____	_____
Vacant, Place 6	_____	_____
Mayor Billy Davis	_____	_____
<b>Staff:</b>		
Robert Loftin, City Manager	_____	_____
Lori Watson, Finance Director/Asst City Mgr	_____	_____
Jack Thompson, EDC Director/Asst City Mgr	_____	_____
Rob Allibon, City Attorney	_____	_____
Carol Konhauser, City Secretary	_____	_____
Pleasant Brooks, Fire Chief	_____	_____
Kit Long, Chief of Police	_____	_____
Mike Rocamontes, Public Works Director	_____	_____
Rachel Roberts, Planning & Comm Dev Director	_____	_____
Cristina Winner, Community Services Director	_____	_____
Lisa Hansen, HR Administrator	_____	_____
Julie Hepler, Special Event Coordinator .	_____	_____
Jay Hinton, Media Relations	_____	_____



**AGENDA  
CROWLEY CITY COUNCIL  
MAY 20, 2021  
WORKSESSION - 6:30 p.m.**

**Crowley City Hall  
201 E. Main Street  
Crowley TX 76028**

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*Citizens may address the Council by filling out a blue "Citizen Participation" card to discuss any issue that is on the Agenda. Please turn in cards to the City Secretary. Speakers are limited to three minutes (if using a translator, the time limit will be doubled).*

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**WORKSESSION - May 20, 2021 - 6:30 pm**

**I. CALL TO ORDER AND ROLL CALL**

**II. NON-ACTION ITEMS FOR DISCUSSION**

1. None.

**DISCUSSION OF ITEMS LISTED ON THE AGENDA**

**III. CONSENT AGENDA**

*All matters listed under the Consent Agenda are considered to be routine by the City Council and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.*

1. Discuss and consider approving the minutes from the regular meeting held May 6, 2021.

**IV. PUBLIC HEARINGS**

1. Hold a public hearing to discuss and consider approval of Ordinance 05-2021-428, for a rezoning requested by Bloomfield Homes for a zoning change from "RC" Restricted Commercial district to "SF-7.2" Single Family Residential for approximately 13.296 acres located at 1400 N Crowley Rd, legal description of H. Lane Survey Abstract 927, Tarrant County. **Case # ZR-2021-002**
2. Hold a public hearing, discuss, and consider approval of a replat request by Bloomfield Homes for a portion of Hunters Ridge Phase 1 to create Lots 10R-20R & 50, Block A, Lots 33R, 34-49, and 50X, Block C, and Lots 1R-28R & 29XR, Block D. The property is located at 1400 N Crowley Rd. **RPLT-2021-001**
3. Hold a public hearing to discuss and consider approval of Ordinance 05-2021-429, amending Ordinance No. 06-2018-332 (the Karis planned development district regulations) to correct clerical errors, amend front yard setbacks for certain lot types, add new lot types, update the text accompanying attached exhibits/illustrations, reorder certain sections, and renumber sections as needed. **ZCA-2021-002**

**V. CITY BUSINESS**

1.
  - a. Receive certification of Unopposed Candidate for the June 19, 2021 Special Election to fill a vacancy;
  - b. Discuss and consider adopting Ordinance 05-2021-427, declaring unopposed candidate for the June 19, 2021, Special Election to fill a Vacancy for the purpose of election a council member to Place 6 for the remainder of the unexpired term ending May 2023; declaring unopposed candidate elected to office; and canceling the Special Election.
  - c. Issue Certificate of Election.
2. Discuss and consider waiving permit fees for the Crowley Cemetery Association for the construction of a Gazebo.
3. Discuss and consider Special Event Permit Application for the Message Church BBQ in Bicentennial Park on May 29, 2021.
4. Discuss and consider Special Event Permit Application for the Tarrant County 911 District to hold a 9-1-1 Educational Gathering in Bicentennial Park on Aug 29, 2021.

**VI. ADJOURNMENT**

\*\*\*An agenda information packet is available for public inspection in the Crowley Library and on the City website, under Agenda Packets\*\*\*



**AGENDA  
CROWLEY CITY COUNCIL  
MAY 20, 2021  
REGULAR SESSION - 7:00 p.m.**

**Crowley City Hall  
201 E. Main Street  
Crowley TX 76028**

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**REGULAR SESSION - May 20, 2021 - 7:00 pm**

**I. CALL TO ORDER AND ROLL CALL**

**II. INVOCATION**

**III. PLEDGE TO ALLEGIANCE TO THE AMERICAN AND TEXAS FLAGS**

*"I pledge allegiance to the flag of the United States of America and to the Republic for which it stands, one nation, under God, indivisible, with Liberty and Justice for all."*

*"Honor the Texas flag; I pledge allegiance to thee, Texas, one state, under God, one and indivisible."*

**IV. PRESENTATIONS/PROCLAMATIONS**

1. None

**V. CONSENT AGENDA**

*All matters listed under the Consent Agenda are considered to be routine by the City Council and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.*

1. Discuss and consider approving the minutes from the regular meeting held May 6, 2021.

**VI. PUBLIC HEARINGS**

1. Hold a public hearing to discuss and consider approval of Ordinance 05-2021-428, for a rezoning requested by Bloomfield Homes for a zoning change from "RC" Restricted Commercial district to "SF-7.2" Single Family Residential for approximately 13.296 acres located at 1400 N Crowley Rd, legal description of H. Lane Survey Abstract 927, Tarrant County. **Case # ZR-2021-002.**
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**VII. CITY BUSINESS**

1.
  - a. Receive certification of Unopposed Candidate for the June 19, 2021 Special Election to fill a vacancy;
  - b. Discuss and consider adopting Ordinance 05-2021-427, declaring unopposed candidate for the June 19, 2021, Special Election to fill a Vacancy for the purpose of election a council member to Place 6 for the remainder of the unexpired term ending May 2023; declaring unopposed candidate elected to office; and canceling the Special Election.
  - c. Issue Certificate of Election.
2. Discuss and consider waiving permit fees for the Crowley Cemetery Association for the construction of a Gazebo.

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3. Discuss and consider Special Event Permit Application for the Message Church BBQ in Bicentennial Park on May 29, 2021.
4. Discuss and consider Special Event Permit Application for the Tarrant County 911 District to hold a 9-1-1 Educational Gathering in Bicentennial Park on Aug 29, 2021.

## **VIII. ADVISORY BOARDS AND COMMISSISONS**

### **1. Reports**

None

### **2. Appointments/Reappointments**

#### **a. Planning and Zoning Board**

Gabriella Villalovos                      Place 1                      Remainder of term expiring Jun 30, 2021

#### **b. Zoning Board of Adjustments**

Michalene Rayburne                      Place 4                      Remainder of term expiring Jun 30, 2022

## **IX. PUBLIC COMMENT**

*If you wish to make a public comment or discuss subjects not listed on the Agenda, please fill out a (yellow) Visitor's Participation card and submit to the City Secretary. There will be no formal actions taken on subjects presented during public comments. Please NOTE council may NOT address or converse with you regarding a NON-AGENDA ITEM. The public comment period will only allow members of the public to present ideas and information to the City Officials and Staff.*

## **X. ITEMS OF COMMUNITY INTEREST**

*Items of community interest include expressions of thanks, congratulations, or condolence; information regarding holiday schedules; honorary recognitions of city officials, employees or citizens; reminders about upcoming events sponsored by the city or other entity that is scheduled to be attended by a city official or employee; and announcements involving imminent threats to the public health and safety*

## **XI. EXECUTIVE SESSION**

Pursuant to Chapter 551, Texas Government Code, the Council reserves the right to convene in Executive Session(s), from time to time as deemed necessary during this meeting for any posted agenda item to receive advice from its attorney as permitted by law, or to discuss the following as permitted by Government Code:

1. **Section 551.071 (Consultation with Attorney)**
2. **Section 551.072 (Deliberations about Real Property)**
3. **Section 551.074 (Personnel Matters)**
4. **Section 551.087 (Business Prospect/Economic Development)**

## **XII. RECONVENE AND TAKE ACTION FROM EXECUTIVE SESSION**

*Reconvene into open session and take any necessary action resulting from items posted and legally discussed in Closed Session.*

## **XIII. ADJOURNMENT**

**I, the undersigned authority, do hereby certify that this Agenda of the City Council Meeting to be held on Thursday, May 20, 2021, of the governing body of the City of Crowley is a true and correct copy posted on \_\_\_\_\_, 20\_\_ at \_\_\_\_\_ am/ pm to the City Website and at Crowley City Hall, a place convenient and readily accessible to the public at all times.**

City of Crowley

\_\_\_\_\_  
Carol C. Konhauser, City Secretary

THE CITY COUNCIL RESERVES THE RIGHT OF THE FOLLOWING:

1. ITEMS DO NOT HAVE TO BE CONSIDERED IN THE SAME ORDER AS SHOWN ON THIS AGENDA;
  2. THE COUNCIL MAY CONTINUE OR RECESS ITS DELIBERATIONS TO THE NEXT CALENDAR DAY IF IT DEEMS IT NECESSARY.
- The Crowley City Hall is wheelchair accessible and accessible parking spaces are available. Requests for accommodations must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (817) 297-2201 ext. 4000, or email ckonhauser@ci.crowley.tx.us for further information.

**NOTICE:** A quorum of the Crime Control and Prevention District Board of Directors and the Economic Development Board of Directors will be present at this meeting; however, neither Board will take action on any items on this posted agenda.

\*\*\*An agenda information packet is available for public inspection in the Crowley Library and on the City website, under Agenda Packets\*\*\*



## Crowley City Council

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### AGENDA REPORT

**Meeting Date:** May 20, 2021

**Agenda Item:** V-1

**Staff Contact:** Carol C. Konhauser  
City Secretary  
**E-mail:** [ckonhauser@ci.crowley.tx.us](mailto:ckonhauser@ci.crowley.tx.us)  
**Phone:** 817-297-2201-X 4000

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**SUBJECT:** Discuss and consider approving the minutes from the regular meeting held May 6, 2021.

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#### **BACKGROUND/DISCUSSION**

Consider approval of minutes as presented.

#### **FINANCIAL IMPACT**

None

#### **RECOMMENDATION**

Staff recommends approval of the minutes as presented; council consideration is respectfully requested.

#### **ATTACHMENTS**

- Minutes

**MINUTES OF THE CITY COUNCIL WORK SESSION HELD May 6, 2021.** The City Council of the City of Crowley, Texas met in Work Session on Thursday, May 6, 2021, at 6:15 pm in the City Council Chambers, 201 East Main Street, Crowley City Hall, Crowley, Texas.

Present were Mayor Billy P. Davis  
Council Member Johnny Shotwell, City Council Place 1  
Council Member Jerry Beck, City Council Place 2  
Council Member Jesse Johnson, City Council Place 3  
Mayor Pro-Tem Carl T. Weber III, City Council Place 4 (Arrv 6:29pm)  
Council Member Jimmy McDonald, City Council Place 5  
Vacant - City Council Place 6

City staff included: City Manager Robert Loftin  
Asst City Mngr/EDC Director, Jack Thompson  
City Attorney, Rob Allibon  
City Secretary, Carol Konhauser  
Police Chief, Kit Long  
Planning and Comm Devel Director, Rachel Roberts  
Community Services Director, Cristina Winner  
HR Administrator, Lisa Hansen  
Asst Finance Director, Heather Gwin

Absent: None

### **CALL TO ORDER/ ROLL CALL**

Mayor Billy Davis called the Work Session to order at 6:16 p.m. City Secretary Carol Konhauser called roll and noted a quorum was present.

### **DISCUSSION OF NON-ACTION ITEMS**

#### **1. None.**

### **CONSENT AGENDA**

*All matters listed under the Consent Agenda are considered to be routine by the City Council and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.*

#### **1. Discuss and consider approving the minutes from the regular meeting held April 15, 2021.**

No discussion.

### **PUBLIC HEARING**

#### **1. Hold a public hearing to discuss and consider approving Ordinance 05-2021-425, an ordinance amending Sec. 106-769 “Development Standards” to amend the setback regulations and Sec. 106-771 “Design Standards” of the downtown overlay district to amend the signage requirements. Case # ZCA-2021-001.**

Planning and Comm Development Director Rachel Roberts came forward and informed the council that there was some wording that was vague or unclear and that if council were going to approve this ordinance, that they do so by with an amendment to Section 106.771(c)(1)c. to clarify a minimum of 10 feet height above grade for projecting signs.

#### **2. Hold a public hearing to discuss, and consider approving Ordinance 05-2021-426, for a zoning change request from General Commercial (GC) to Planned Development (PD) for approximately 20.31 acres located in the Mathew H Toler Survey Abstract 1547 (TAD tract 1E), as requested by MI Homes of DFW LLC The property is located at 1701 HWY 1187. Case # ZR-2021-001**

Planning and Comm Development Director Rachel Roberts requested that if council were going to approve the zoning change, that they do so contingent on MI Homes completing a developer agreement with the city.

## **CITY BUSINESS**

- 1. Discuss and consider approving Resolution R05-2021-351, a resolution of Crowley, Texas, finding that ONCOR Electric Delivery Company LLC's application for approval to amend its distribution cost recovery factor (DCRF) to increase distribution rates with the city should be denied; authorizing the participation with OCSC, authorizing the hiring of legal counsel and consulting services; find that the city's reasonable rate case expenses shall be reimbursed by the company.**

No discussion

- 2. Discuss and consider adoption of Resolution R05-2021-352 declaring certain property as surplus to the City's needs; authorizing its sale; providing an effective date and authorizing staff to place surplus items from the city for auction.**

Asst Finance Director Heather Gwin informed council that the Rec Center and PD had requested additional items to be included in the resolution exhibit. She requested that if council were going to approve this resolution, that they consider the addition of the three police vehicles and a copier.

- 3. Discuss and consider adoption of a logo for the Crouch Event Center at Bicentennial Park.**

Community Services Director Cristina Winner explained that the logo design was created by a student at the CTE Center. She informed council that if they approved it, this would be the logo that would be used for the Event Center.

- 4. Discuss and consider approving a Developer's Agreement for Mira Verde Addition Ph. 1 (South) and Ph. 2.**

No discussion

- 5. Consider approving Bilingual Certification Pay.**

HR Administrator Lisa Hansen informed council that she had done quite a bit of research and found that many cities offer this additional incentive. She explained that bi-lingual pay can help many departments, particularly the Police, in communicating with the diverse community.

Council Member Jesse Johnson asked what was considered fluency and which languages would be considered for the pay. Ms Hansen explained it would be for languages that were needed and utilized within the City and that fluency would be considered effectively able to communicate and translate.

- 6. Conduct the Official Canvass of the Election Returns for the General Election held on May 1, 2021, in the City of Crowley, Texas, for the purpose of electing City Council Members to the Office of Council Place 1 and Place 4.**

No discussion

- 7. Discuss and consider adoption of Resolution R05-2021-353, a resolution of the City Council of the City of Crowley, Texas, canvassing and declaring the results of the May 1, 2021 General Election for the purpose of electing City Council Members to Council Place 1 and Place 4; and Mayor Davis to issue the Certificates of Election.**

No discussion

- 8. Discuss and elect a Mayor Pro-Tempore pursuant to the City of Crowley Home Rule Charter, Section 3.03.**

Mayor informed council that Council Member Jesse Johnson was next in line to serve as Mayor Pro Tem.

## **ADJOURNMENT**

As there was no further business to discuss, the work session was adjourned at 6:34 pm.

**MINUTES OF THE CITY COUNCIL REGULAR SESSION HELD May 6, 2021.** The City Council of the City of Crowley, Texas met in Regular Session on Thursday, May 6, 2021, at 7:00 pm in the City Council Chambers, 201 East Main Street, Crowley City Hall, Crowley, Texas.

Present were Mayor Billy P. Davis  
Council Member Johnny Shotwell, City Council Place 1  
Council Member Jerry Beck, City Council Place 2  
Council Member Jesse Johnson, City Council Place 3  
Mayor Pro-Tem Carl T. Weber III, City Council Place 4  
Council Member Jimmy McDonald, City Council Place 5  
Vacant - City Council Place 6

City staff included: City Manager Robert Loftin  
Asst City Mngr/EDC Director, Jack Thompson  
City Attorney, Rob Allibon  
City Secretary, Carol Konhauser  
Police Chief, Kit Long  
Planning and Comm Devel Director, Rachel Roberts  
Community Services Director, Cristina Winner  
HR Administrator, Lisa Hansen  
Asst Finance Director, Heather Gwin  
Media Relations, Jay Hinton

Absent: None

#### **CALL TO ORDER/ ROLL CALL**

Mayor Billy Davis called the Regular Session to order at 7:00 p.m. City Secretary Carol Konhauser called roll and noted a quorum was present.

#### **INVOCATION/PLEDGE OF ALLEGIANCE**

Invocation was given by Council Member Jesse Johnson followed by the Pledge of Allegiance to the American and Texas Flags.

#### **PRESENTATIONS/PROCLAMATIONS**

**1. Proclamation - National Police Week.**

Proclamation was read by Council Member Jimmy McDonald.

**2. Texas Municipal Library Directors Association, Library of Excellence Award.**

City Manager Robert Loftin read the congratulations letter received from TMLDA and presented the Library staff the "Library of Excellence Award."

#### **CONSENT AGENDA**

*All matters listed under the Consent Agenda are considered to be routine by the City Council and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.*

**1. Discuss and consider approving the minutes from the regular meeting held April 15, 2021.**

Council Member Jerry Beck made the motion to approve the Consent Agenda item(s), second by Council Member Carl Weber; council voted unanimously to approve the motion as presented. Motion carried 6-0.

#### **PUBLIC HEARING**

**1. Hold a public hearing to discuss and consider approving Ordinance 05-2021-425, an ordinance amending Sec. 106-769 "Development Standards" to amend the setback regulations and Sec. 106-771 "Design Standards" of the downtown overlay district to amend the signage requirements. Case # ZCA-2021-001.**

Mayor Davis opened the public hearing at 7:08 pm for anyone to speak either in favor of or in opposition, as nobody came forward, he closed the public hearing at 7:08 pm.

Council Member Jesse Johnson made the motion to adopt Ordinance 05-2021-425 and include an amendment to Section 106.771(c)(1) paragraph c to which clarifies projected signs must be a minimum of 10 feet above grade, second by Council Member Johnny Shotwell; council voted unanimously to approve the motion as presented. Motion carried 6-0.

- 2. Hold a public hearing to discuss, and consider approving Ordinance 05-2021-426, for a zoning change request from General Commercial (GC) to Planned Development (PD) for approximately 20.31 acres located in the Mathew H Toler Survey Abstract 1547 (TAD tract 1E), as requested by MI Homes of DFW LLC The property is located at 1701 HWY 1187. Case # ZR-2021-001.**

Mayor Davis opened the public hearing at 7:10 pm for anyone to speak either in favor of or in opposition.

Mr Kevin Dym from MI Homes stepped up to give a presentation on the development project which would be a mixed-use development with residential lots, park land, and a commercial development.

James McDonald, Baldwin Dr, addressed the council and explained that he thought the development sounded nice, but that he would not be in favor of it if the developer planned to sell off the commercial piece of land and have someone else complete that. Mr McDonald stated he thought the developer should complete the entire project to include home lots, parkland and commercial.

Larry Nixon, from Plains Capital Bank, which is the holding company for this property. He came forward and gave a background of how his company acquired the property.

Nobody else came forward, so the Mayor closed the public hearing at 7:34 pm.

Mayor Davis asked MI Homes if the houses he showed in his presentation would fit on a 30 ft lot and Mr Dym stated they would.

City Manager Robert Loftin asked for clarification on home prices. In Mr Nym's presentation, he alluded to home prices of over \$400,000, but after doing some calculations based on the tax base presented, Mr Loftin came up with a home price of \$322,000. Mr Nym confirmed that home prices would probably be around the \$320,000 range. Mr Loftin then asked if they had planned for their homes to be completely masonry sided. Mr Nym stated that they typically have a complete masonry exterior on the first floor and a mix of masonry and siding on the 2nd floor exteriors. Mr Loftin pointed out to council that the pictures in the presentation may not be the exact type of homes that would be built within Crowley.

Council Member Jimmy McDonald asked who would be building the commercial section of the development. Mr Nym stated that it is not uncommon for developers to sell off the commercial section of a development to a commercial developer.

Council Member Jesse Johnson made the motion to deny Ordinance 05-2021-426 for a zoning change without prejudice, second by Council Member Jimmy McDonald; council voted unanimously to deny the motion without prejudice. Motion carried 6-0.

## **CITY BUSINESS**

- 1. Discuss and consider approving Resolution R05-2021-351, a resolution of Crowley, Texas, finding that ONCOR Electric Delivery Company LLC's application for approval to amend its distribution cost recovery factor (DCRF) to increase distribution rates with the city should be denied; authorizing the participation with OCSC, authorizing the hiring of legal counsel**

**and consulting services; find that the city's reasonable rate case expenses shall be reimbursed by the company.**

Council Member Jerry Beck made the motion to approve Resolution R05-2021-351, second by Council Member Jesse Johnson; council voted unanimously to approve the motion as presented. Motion carried 6-0.

- 2. Discuss and consider adoption of Resolution R05-2021-352 declaring certain property as surplus to the City's needs; authorizing its sale; providing an effective date and authorizing staff to place surplus items from the city for auction.**

Council Member Jimmy McDonald made the motion to approve Resolution R05-2021-352 second by Council Member Jerry Beck; council voted unanimously to approve the motion as presented. Motion carried 6-0.

- 3. Discuss and consider adoption of a logo for the Crouch Event Center at Bicentennial Park.**

Council Member Carl Weber made the motion to approve and adopt the logo for the Crouch Event Center, second by Council Member Jimmy McDonald; council voted unanimously to approve the motion as presented. Motion carried 6-0.

- 4. Discuss and consider approving a Developer's Agreement for Mira Verde Addition Ph. 1 (South) and Ph. 2.**

Council Member Jimmy McDonald made the motion to approve Developer's Agreement with Mira Verde Addition Ph 1 and Ph 2, second by Council Member Jerry Beck; council voted unanimously to approve the motion as presented. Motion carried 6-0.

- 5. Consider approving Bilingual Certification Pay.**

Council Member Jesse Johnson made the motion to approve the addition of Bilingual Certification Pay for city employees, second by Council Member Jimmy McDonald; council voted unanimously to approve the motion as presented. Motion carried 6-0.

- 6. Conduct the Official Canvass of the Election Returns for the General Election held on May 1, 2021, in the City of Crowley, Texas, for the purpose of electing City Council Members to the Office of Council Place 1 and Place 4.**

Mayor Billy Davis received the election envelope and read the election return totals. The totals were read as follows and there were no objections to the official election returns.

***TARRANT COUNTY***

<b>City Council Place 1</b>	<b>Early Voting</b>	<b>Election Day</b>	<b>Provisional Ballots Added</b>	<b>Total Votes</b>
Johnny Shotwell	250	290	0	540
Over Votes	0	0	0	0
Under Votes	43	52	0	95
Total Votes	293	342	0	635

<b>City Council Place 4</b>	<b>Early Voting</b>	<b>Election Day</b>	<b>Provisional Ballots Added</b>	<b>Total Votes</b>
Carl Weber III	102	127	0	229
Jim Hirth	181	201	0	382
Over Votes	0	0	0	0
Under Votes	10	14	0	24
Total Votes	293	342	0	635

## **JOHNSON COUNTY**

<b>City Council Place 1</b>	<b>Early Voting</b>	<b>Election Day</b>	<b>Provisional Ballots Added</b>	<b>Total Votes</b>
Johnny Shotwell	0	0	0	0
Over Votes	0	0	0	0
Under Votes	0	0	0	0
Total Votes	0	0	0	0

<b>City Council Place 4</b>	<b>Early Voting</b>	<b>Election Day</b>	<b>Provisional Ballots Added</b>	<b>Total Votes</b>
Carl Weber III	0	0	0	0
Jim Hirth	0	0	0	0
Over Votes	0	0	0	0
Under Votes	0	0	0	0
Total Votes	0	0	0	0

7. **Discuss and consider adoption of Resolution R05-2021-353, a resolution of the City Council of the City of Crowley, Texas, canvassing and declaring the results of the May 1, 2021 General Election for the purpose of electing City Council Members to Council Place 1 and Place 4; and Mayor Davis to issue the Certificates of Election.**

Council Member Carl Weber made the motion to approve Resolution R05-2021-353, second by Council Member Jerry Beck, council voted unanimously to approve the motion as presented. Motion carried 6-0.

Mayor Davis signed the Certificate of Election for Place 1 and Place 4.

8. **Discuss and elect a Mayor Pro-Tempore pursuant to the City of Crowley Home Rule Charter, Section 3.03.**

Council Member Jimmy McDonald made the motion to nominate Council Member Jesse Johnson as Mayor Pro Tem; second by Council Member Jesse Johnson; council voted unanimously to approve the motion as presented. Motion carried 6-0.

## **ADVISORY BOARDS AND COMMISSIONS**

*Reports/appointments or reappointments.*

1. Reports:

None

2. Appointments/Reappointments:

a. **Library Board**

Council Member Jimmy McDonald made the motion to nominate the below individuals for the terms listed to the Library Board; second by Council Member Jerry Beck; council voted unanimously to approve the motion as presented. Motion carried 6-0.

Lucy Silva	Place 2	Expiring Jun 30, 2022
Katie King	Place 3	Expiring Jun 30, 2021

b. **Animal Control - Council Liaison Johnny Shotwell**

Council Member Johnny Shotwell made the motion to nominate the below individuals for the terms listed to the Animal Control Board; second by Council Member Jesse Johnson; council voted unanimously to approve the motion as presented. Motion carried 6-0.

Rosemary Lindsey, DVM	Place 1	Expiring Sep 30, 2021
Kimberly Carmichael	Place 3	Expiring Sep 30, 2021
Nia Odgers	Place 6	Expiring Sep 30, 2022



## **PUBLIC COMMENT**

Mayor Davis asked if there were any citizens or visitors wishing to speak.

Terri Horn, Crowley Chamber of Commerce, informed council that there would a Community Challenge sponsored by the Railroaders Baseball, on Jun 1, 2021, between Crowley and Burleson. Some of the money raised will go to scholarship.

## **ITEMS OF COMMUNITY INTEREST**

Mayor Davis then asked if there were any community interest items.

As there was no further business, Mayor Davis adjourned the meeting at 8:19 p.m.

ATTEST:

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Billy Davis, Mayor

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Carol C. Konhauser, City Secretary



## City of Crowley City Council AGENDA REPORT

**Meeting Date:** May 20, 2021

**Agenda Item:** VI-1

**Staff Contact:** Rachel Roberts

**E-mail:** rroberts@ci.crowley.tx.us

**Phone:** 817/297-2201 x 3030

**SUBJECT:** Hold a public hearing to discuss and consider approval of Ordinance 05-2021-428, for a rezoning requested by Bloomfield Homes for a zoning change from “RC” Restricted Commercial district to “SF-7.2” Single Family Residential for approximately 13.296 acres located at 1400 N Crowley Rd, legal description of H. Lane Survey Abstract 927, Tarrant County. **Case # ZR-2021-002**

### BACKGROUND AND OVERVIEW

<b>Request</b>	Rezone from RC to SF-7.2
<b>Applicant</b>	Bloomfield Homes
<b>Location</b>	Immediately north of H F Stevens Middle School on Crowley Rd
<b>Surrounding Uses</b>	School; Manufacturing (across Crowley Rd); vacant land platted for residential use; vacant land zoned for commercial use
<b>Surrounding Zoning</b>	SF-7.2 single family residential; Restricted commercial; Industrial (across Crowley Rd)
<b>Future Land Use Plan Designation</b>	Low density single family residential, Open Space/Park, and Traditional suburban commercial
<b>Staff Recommendation</b>	Approve
<b>Planning &amp; Zoning Commission Recommendation</b>	Approve

### CURRENT STATUS OF PROPERTY

The Hunters Ridge phase 1 final plat was approved last October. The subdivision is predominantly zoned SF-7.2 single family residential but also includes some commercially-zoned land between the residential area and Crowley Rd.

Hunters Ridge Dr, the main entry road for the subdivision, runs just north of the property for H F Stevens Middle School. Bloomfield Homes has received all approvals from the city to begin construction of the subdivision but must also receive permission from TxDOT because Hunters Ridge Drive connects to Crowley Rd, a TxDOT roadway. TxDOT will not authorize the connection because it is too close to the drive approach for H F Stevens Middle School, so the roadway must be moved. Bloomfield Homes has submitted a replat to move the road to the north and rearrange some of the lots to accommodate the new roadway location. Before the replat can be considered, however, a portion of the Restricted Commercial property would need to be rezoned to SF-7.2 (see attached exhibit).

In addition, when the portion zoned “RC” was first rezoned for commercial use, there were some missing information in the exhibit used to describe the property being rezoned, and the boundary between RC and SF-7.2 on the zoning map is not clear. It may be that portions of a small number of lots for the phase 1 final plat were shown as the wrong zoning classification, although this is not certain. The proposed rezoning would clarify where the zoning district boundaries are located in addition to allowing for the replat.

*Surrounding Properties and Neighborhood*

The land adjacent to this area is all vacant, and most of it is part of the Hunters Ridge subdivision. Harbison Fischer is located across Crowley Road to the west.

**NOTE: boundaries in the attached FLUP and zoning maps are approximate. The exhibits included with the rezoning application show the correct areas proposed for rezoning.**

## **STAFF REVIEW**

*Conformity to the Comprehensive Land Use Plan*

The majority of the property is shown as **Low Density Single Family Residential** and **Open Space/Park**. A small portion is designated as **Traditional Suburban Commercial**.

The city has some discretion interpreting the boundaries in the Future Land Use Plan. For the area where Hunters Ridge is located, the proposed boundaries between commercial and single family were partly based on the proposed boundaries of the Hunters Ridge neighborhood. At the time the comprehensive plan was adopted, the city had approved a preliminary plat for Hunters Ridge and used the property boundaries from the plat as the boundaries between residential and commercial. It was intended that the property within Hunters Ridge would be used for single family residential purposes.

The area designated as commercial is small and would run along the back of some of the residential lots and along the right-of-way. Rezoning these areas to residential does not conflict with the intent of the comprehensive plan.

*Other Factors to Consider*

In addition to compliance with the comprehensive land use plan, the city may also consider other factors.

***Other factors.***

The area requested for rezoning is small and will not affect the overall availability of commercial land in the city. In addition, rezoning this small area to residential will not have an adverse impact on the remaining commercially-zoned property.

## **STAFF RECOMMENDATION**

Staff recommend approval.

## **PLANNING & ZONING COMMISSION RECOMMENDATION**

The Planning & Zoning Commission considered this request on May 10. After holding a public hearing, the Commission voted to recommend approval.

## **ACTION BY THE CITY COUNCIL**

### *Sample motions*

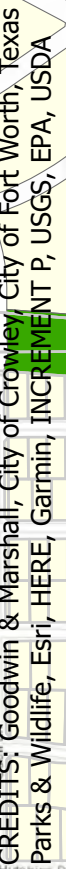
The motions provided below are for your reference. You are not required to use this language in your motion.

**Approve:** I find the request conforms to the comprehensive land use plan and make a motion to approve Ordinance # 05-2021-428.

**Deny:** I find that the request would have an adverse impact on surrounding properties [**and/or** does not conform to the comprehensive land use plan]. I make a motion to deny Ordinance # 05-2021-428.

### **ATTACHMENTS:**

- Maps showing site, zoning, and future land use plan designation
- Application with exhibits
- Ordinance



CityLimit

Area request for rezoning

## Zoning Districts

SF-7.2

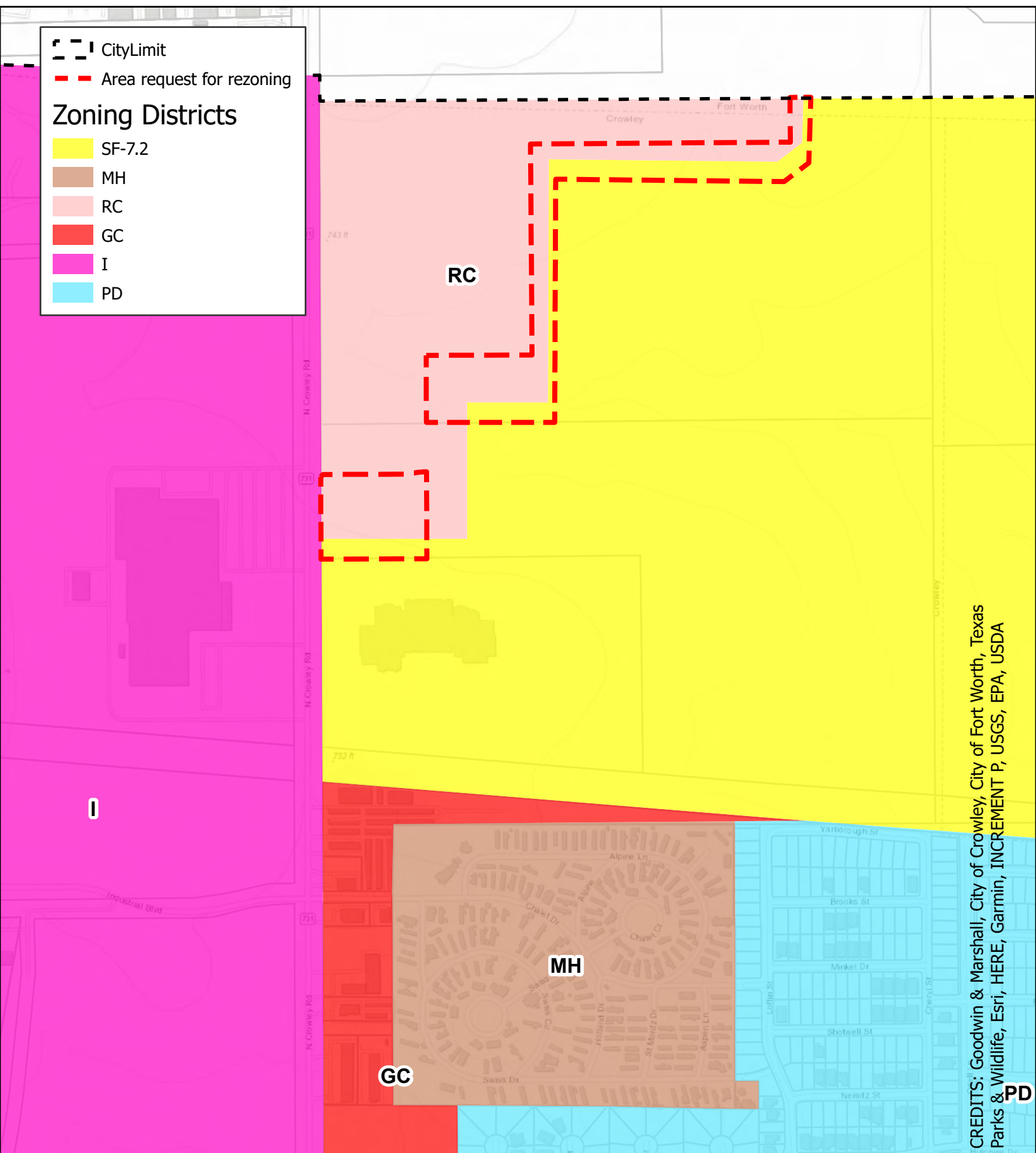
MH

RC

GC

I

PD



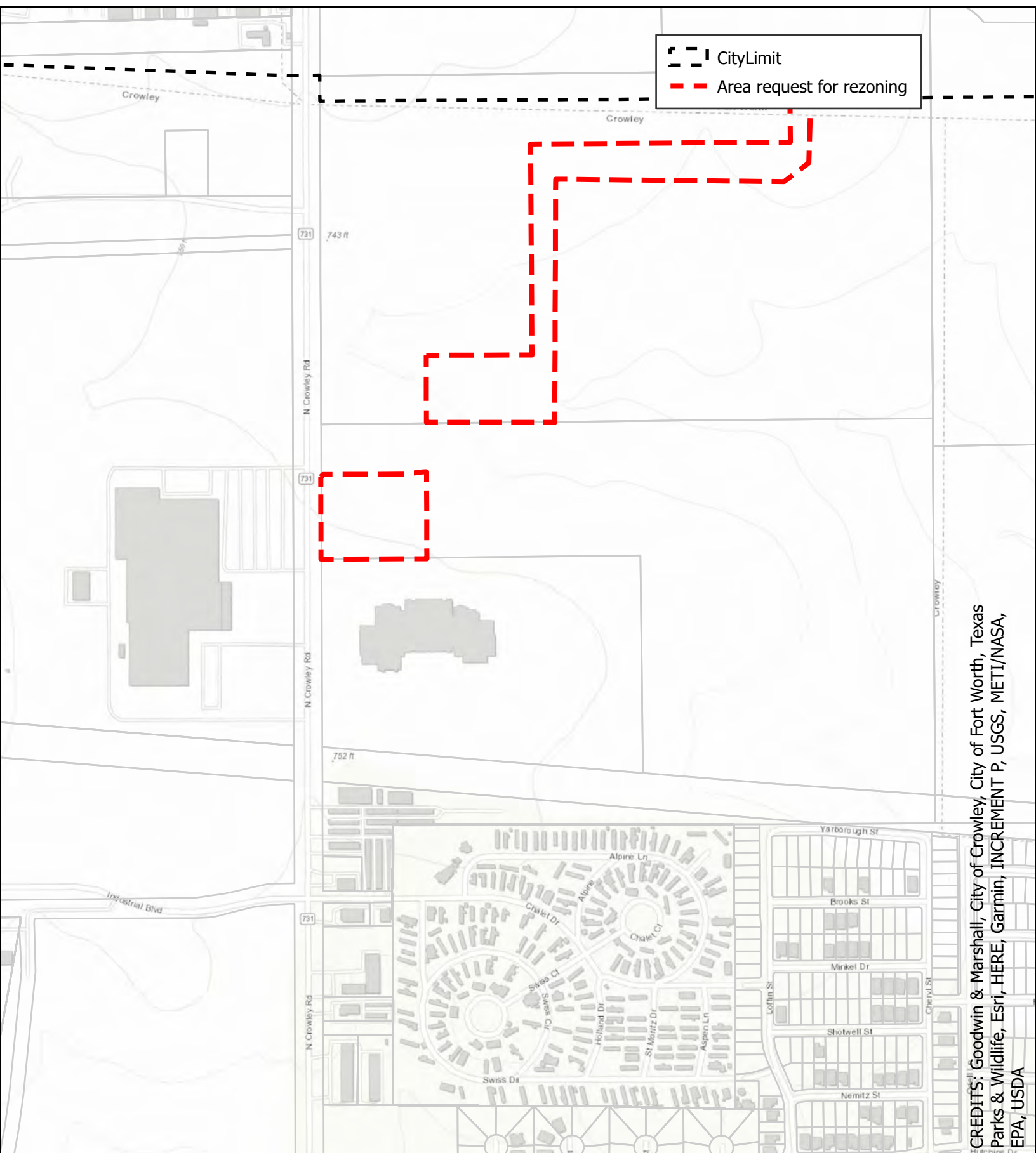
CREDITS: Goodwin & Marshall, City of Crowley, City of Fort Worth, Texas  
Parks & Wildlife, Esri, HERE, Garmin, INCREMENT P, USGS, EPA, USDA



0 300 600 Feet

## ZR-2021-002 Zoning Surrounding Area Requested for Rezoning (boundaries approximate)





CREDITS: Goodwin & Marshall, City of Crowley, City of Fort Worth, Texas  
Parks & Wildlife, Esri, HERE, Garmin, INCREMENT P, USGS, METI/NASA,  
EPA, USDA

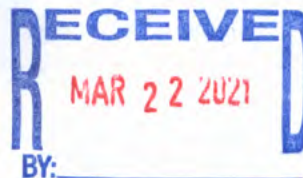


0 300 600 Feet

**ZR-2021-002**  
**Area Request for Rezoning**  
**(boundaries approximate)**







Project # 21-000003  
(to be assigned by City staff)

**Application Requirements:** The applicant is required to submit sufficient information that describes and justifies the proposal. See the appropriate check list and fee schedule for minimum requirements.  
**Incomplete applications will not be processed.**

#### Property Information

Project Name	<u>Hunters Ridge, Phase 1</u>	Legal Description	<u>H. Lane Survey, Abstract No. 927, City of Crowley, Tarrant County, Texas</u>
Project Address	<u>998 N. Crowley Rd</u>		
Project Description	<u>Single Family Development</u>		
Gross Acreage	<u>0.476 AC</u>		

#### Applicant & Owner Information

Applicant Name	<u>Clint Vincent</u>	Company	<u>Bloomfield Homes, LP</u>
Owner Address	<u>1050 E. Hwy 114, Suite 210</u>	Telephone No	<u>817-416-1572</u>
City, State, Zip	<u>Southlake, TX 76092</u>	Email	<u>-</u>

**Applicant Status (check one)**    ☒ **Owner**    ☐ **Representative\***    ☐ **Tenant**    ☐ **Prospective Buyer**

Property Owner	<u>Same as Applicant</u>	Telephone No	<u></u>
Address	<u></u>	Email	<u></u>
City, State, Zip	<u></u>		<u></u>

#### Information Required for Zoning Change Requests

Current zoning: RC


Proposed zoning: SF-7.2

Future Land Use Map designation: Traditional Suburban Commercial

Reason for requested change: To change zoning from Restricted Commercial to Single Family Residential (new) to accommodate a street realignment.



SIGNATURE OF APPLICANT (SIGN AND PRINT OR TYPE YOUR NAME)

SIGNATURE:  DATE: 3-18-21

SIGNATURE OF PROPERTY OWNER:

SIGNATURE  DATE: 3-18-21

(Letter of authorization required if signature is other than property owner)

\*\*The property owner must sign the application or submit a notarized letter of authorization.

For City's Use Only

Project Number # 3P 2021-002

Date submitted: 3/22/21

Total Fee \$ 450

Paid by: ☒ check # \_\_\_\_\_

☐ credit card

☐ cash

Accepted By: WB / QR

## **ORDINANCE NO 05-2021-428**

**AN ORDINANCE OF THE CITY OF CROWLEY, TEXAS, AMENDING THE ZONING ORDINANCE AND MAP OF THE CROWLEY CODE OF ORDINANCES BY CHANGING THE ZONING CLASSIFICATION FROM RESTRICTED COMMERCIAL (RC) DISTRICT TO SF 7.2 SINGLE FAMILY RESIDENTIAL (SF-7.2) DISTRICT ON TWO TRACTS TALLING APPROXIMATELY 13.296 ACRES LOCATED IN THE H. LANE SURVEY, ABSTRACT NUMBER 927, TARRANT COUNTY; REVISING THE OFFICIAL ZONING MAP IN ACCORDANCE THEREWITH; PROVIDING THAT THIS ORDINANCE SHALL BE CUMULATIVE OF ALL ORDINANCES; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING A PENALTY FOR VIOLATIONS HEREOF; PROVIDING FOR PUBLICATION; AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS**, the City of Crowley is a home rule city acting under its charter adopted by the electorate pursuant to Article XI, Section 5 of the Texas Constitution and Chapter 9 of the Texas Local Government Code; and,

**WHEREAS**, the owner of the hereinafter described property filed application with the City of Crowley, Texas, petitioning an Amendment of the Zoning Ordinance and Map of said City so as to rezone and reclassify said property from its current classification of Restricted Commercial (RC) District to SF-7.2 Single-Family Residential (SF-7.2) District; and,

**WHEREAS**, the Planning and Zoning Commission has conducted a public hearing on May 10 2021, and has rendered a recommendation to the City Council in respect to the proposed zoning change; and,

**WHEREAS**, the City Council has conducted a public hearing on May 20, 2021, considered the recommendation of the Planning and Zoning Commission and has determined that the proposed change is in the best interest of the general welfare of the City of Crowley; and

**WHEREAS**, the City has complied with all requirements of Chapter 211 of the Texas Local Government Code, and all other laws dealing with notice, publication and procedural requirements for amending the Zoning Ordinance.

**NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CROWLEY, TEXAS, THAT:**

### **SECTION 1.**

The Zoning Ordinance of the City of Crowley, as amended, is hereby amended by rezoning the Property more particularly described on the attached Exhibit "A" (the "Property") from Restricted Commercial (RC) District to SF-7.2 Single-Family Residential (SF-7.2) District.

## **SECTION 2.**

The use of the Property described above shall be subject to all applicable regulations contained in the Zoning Ordinance and all other applicable ordinances of the City.

## **SECTION 3.**

The Zoning district as herein established has been made in accordance with a comprehensive plan for the purpose of promoting the health, safety, morals and general welfare of the community.

## **SECTION 4.**

The official zoning map of the City of Crowley is amended and the City Secretary is directed to revise the official zoning map to reflect the approved zoning as set forth above.

## **SECTION 5.**

This Ordinance shall be cumulative of all provisions of ordinances and of the Code of Ordinances of the City of Crowley, Texas, as amended, except when the provisions of this Ordinance are in direct conflict with the provisions of such ordinances and such code, in which event the conflicting provisions of such ordinances and such code are hereby repealed.

## **SECTION 6.**

It is hereby declared to be the intention of the City Council that the sections, paragraphs, sentences, clauses and phrases of this ordinance are severable, and if any phrase, clause, sentence, paragraph or section of this ordinance shall be declared void, ineffective or unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such voidness, ineffectiveness or unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs or sections of this ordinance, since the same would have been enacted by the City Council without the incorporation herein of any such void, ineffective or unconstitutional phrase, clause, sentence, paragraph or section.

## **SECTION 7.**

That all rights or remedies of the City of Crowley, Texas are expressly saved as to any and all violations of the City Code or any amendments thereto regarding zoning that have accrued at the time of the effective date of this ordinance; and as to such accrued violations, and all pending litigation, both civil or criminal, same shall not be affected by this ordinance but may be prosecuted until final disposition by the courts.

## **SECTION 8.**

Any person, firm, or corporation who violates, disobeys, omits, neglects or refuses to comply with or who resists the enforcement of any of the provisions of this ordinance shall be fined not more than Two Thousand Dollars (\$2,000.00). Each day that a violation is permitted to exist shall constitute a separate offense.

## **SECTION 9.**

The City Secretary of the City of Crowley is hereby directed to publish in the official newspaper of the City of Crowley, the caption, penalty clause, and the effective date clause of this ordinance as authorized by the City Charter and Section 52.013 of the Texas Local Government Code.

**SECTION 10.**

This ordinance shall be in full force and effect from and after its passage and publication as required by law, and it is so ordained.

**PASSED AND APPROVED ON THIS 20<sup>th</sup> DAY OF MAY 2021.**

---

Billy P. Davis, Mayor

ATTEST:

---

Carol C. Konhauser  
CITY SECRETARY

APPROVED AS TO FORM:

---

Rob Allibon  
CITY ATTORNEY

**EXHIBIT A**

**LEGAL DESCRIPTION**

## EXHIBIT "A"

PROPERTY DESCRIPTION

STATE OF TEXAS:  
COUNTY OF TARRANT:

BEING a tract of land situated in the H. Walker Survey, Abstract No. 1622, City of Crowley, Tarrant County, Texas, being a portion of Tract 1, Parcel B as described in deed to Bloomfield Homes, L.P., recorded in D220347026, Official Public Records, Tarrant County (OPRTCT), being a portion of Lot 48X, Block A of Hunters Ridge, Phase I, an addition to the City of Crowley, Tarrant County, Texas as recorded in D221034569, OPRTCT, and being more particularly described as follows:

BEGINNING at 1/2" rebar capped Goodwin & Marshall set at the northwest corner of said Lot 48X, Block A of Hunters Ridge, Phase I, from which a 1/2" rebar capped Goodwin & Marshall set at the northeast of Lot 6, Block A of said Hunters Ridge, Phase I bears South 00 degrees 11 minutes 34 seconds East, 550.00 feet;

THENCE North 89 degrees 48 minutes 26 seconds East, along the north line of said Lot 48X, Block A, a distance of 450.00 feet to a 1/2" rebar capped set at an angle point in the north line of said Lot 48X, Block A;

THENCE departing the north line of said Lot 48X, Block A, across said Bloomfield Homes Tract 1, Parcel B, as follows:

North 00 degrees 24 minutes 45 seconds West, a distance of 897.33 feet;

North 89 degrees 35 minutes 15 seconds East, a distance of 1,104.36 feet;

North 00 degrees 24 minutes 45 seconds West, a distance of 190.00 feet to a point in the north line of said Bloomfield Homes Tract 1, Parcel B and the south line of Tract 1, Parcel A as described in deed to Bloomfield Homes, L.P., recorded in D220347026, OPRTCT;

THENCE North 89 degrees 35 minutes 15 seconds East, along the north line of said Bloomfield Homes Tract 1, Parcel B and the south line of said Bloomfield Homes Tract 1, Parcel A, a distance of 88.51 feet to the northeast corner of the herein described tract of land;

THENCE departing the south line of said Bloomfield Homes Tract 1, Parcel A, across said Bloomfield Homes Tract 1, Parcel B, as follows:

South 01 degree 47 minutes 22 seconds West, a distance of 278.55 feet;

South 52 degrees 34 minutes 45 seconds West, a distance of 131.92 feet;

North 89 degrees 23 minutes 15 seconds West, a distance of 971.11 feet;

South 00 degrees 13 minutes 29 seconds West, a distance of 1,034.19 feet to a point within said Lot 48X, Block A;

WEST, across said Lot 48X, Block A, a distance of 545.48 feet to the west line of said Lot 48X, Block A;

THENCE North 00 degrees 11 minutes 34 seconds West, along the west line of said Lot 48X, Block A, a distance of 284.98 feet to the POINT OF BEGINNING and containing 432,387 square feet or 9.926 acres of land.

## NOTE:

Bearings are referenced to Texas State Plane Coordinate System, North Central Zone (4202), North American Datum of 1983 as derived from GPS observation.

**GOODWIN AND  
MARSHALL INC.**

CIVIL ENGINEERS ~ PLANNERS ~ SURVEYORS

2405 Mustang Drive, Grapevine, Texas 76051  
(817) 329 - 4373

TxEng Firm # F-2944 - TxSurv Firm # 10021700

Job No.: 10805

Scale: NONE

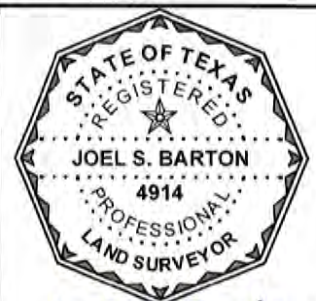
Drafted: T.J.M.

Checked: J.S.B.

Date Prepared: 4/19/2021

Sheet

**1**  
of  
**2**



*Joel S. Barton*



EXHIBIT "A"



TRACT 1, PARCEL D  
BLOOMFIELD HOMES, L.P.  
D220347026  
O.P.R.T.C.T.

TRACT 1, PARCEL A  
BLOOMFIELD HOMES, L.P.  
D22034702, O.P.R.T.C.T.

**FORT WORTH CITY LIMIT**  
**CROWLEY CITY LIMIT**

**NORTH CROWLEY ROAD - F.M. 731**  
(VARIABLE WIDTH R.O.W.)

ZONED: RC

TRACT 1, PARCEL B  
BLOOMFIELD HOMES, L.P.  
D220347026  
O.P.R.T.C.T.

9.926 AC.

ZONED: SF-7.2

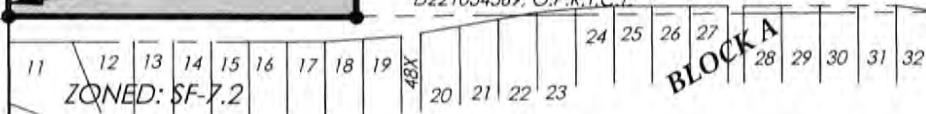
TRACT 1, PARCEL B  
BLOOMFIELD HOMES, L.P.  
D220347026  
O.P.R.T.C.T.

**H. WALKER SURVEY**  
**ABSTRACT No. 1622**

EXISTING  
ZONING: RC 48X  
PROPOSED  
ZONING: SF-7.2  
**BLOCK A**

HUNTERS RIDGE  
PHASE I 48X  
D221034569, O.P.R.T.C.T.

A-1622  
A-927



**GOODWIN AND  
MARSHALL INC.**

CIVIL ENGINEERS ~ PLANNERS ~ SURVEYORS

2405 Mustang Drive, Grapevine, Texas 76051  
(817) 329 - 4373

TxEng Firm # F-2944 ~ TxSurv Firm # 10021700

Job No.: 10805

Scale: 1"=300'

Sheet

Drafted: T.J.M.

Checked: J.S.B.

**2**

of

**2**

Date Prepared: 4/19/2021



*Joel S. Barton*

## EXHIBIT "A"

PROPERTY DESCRIPTION

STATE OF TEXAS:  
COUNTY OF TARRANT:

BEING a tract of land situated in the H. Lane Survey, Abstract No. 927, City of Crowley, Tarrant County, Texas, being all of Lots 1-6, 49X, Block A, a portion of Lot 34X, Block C, and a portion of Hunters Ridge Drive of Hunters Ridge, Phase I, an addition to the City of Crowley, Tarrant County, Texas as recorded in D221034569, Official Public Records, Tarrant County (OPRTCT), being a portion of Tract 1, Parcel B as described in deed to Bloomfield Homes, L.P., recorded in D220347026, OPRTCT, and being more particularly described as follows:

BEGINNING at 1/2" rebar capped Landes & Assoc found in the east line of North Crowley Road (F.M. 731 - variable width R.O.W.) at the northwest corner of Lot 1, Block 1, H.F. Stevens Addition, an addition to the City of Crowley, Tarrant County, Texas as recorded in Cabinet A, Slide 1601, Plat Records, Tarrant County, Texas, said point being the most westerly southwest corner of said Lot 34X, Block C of Hunters Ridge, Phase I;

THENCE North 00 degrees 11 minutes 13 seconds West, along the east line of said North Crowley Road and the west line of said Hunters Ridge, Phase I, at a distance of 315.00 feet passing a 1/2" rebar capped Goodwin & Marshall set at the northwest corner of said Lot 49X, Block A of Hunters Ridge, Phase I, continuing a total distance of 350.00 to a point in the east line of said North Crowley Road and the west line of said Bloomfield Homes Tract 1, Parcel B;

THENCE departing the east line of said North Crowley Road, across said Bloomfield Homes Tract 1, Parcel B, as follows:

North 44 degrees 48 minutes 36 seconds East, a distance of 14.14 feet;

North 89 degrees 48 minutes 26 seconds East, a distance of 330.88 feet to the beginning of a tangent curve to the left, having a radius of 309.50 feet;

Northeasterly, along said curve, having a central angle of 10 degrees 28 minutes 31 seconds, an arc distance of 56.59 feet, and a chord that bears North 84 degrees 34 minutes 10 seconds East, 56.51 feet to the beginning of a reverse curve to the right, having a radius of 290.50 feet;

Northeasterly, along said curve, having a central angle of 10 degrees 28 minutes 31 seconds, an arc distance of 53.11 feet, and a chord that bears North 84 degrees 34 minutes 10 seconds East, 53.04 feet to a point in an reentrant line of said Block A of Hunters Ridge, Phase I;

THENCE South 00 degrees 11 minutes 34 seconds East, non-tangent to said curve, at a distance of 55.00 feet passing the northeast corner of said Lot 6, Block A of Hunters Ridge, Phase I, continuing across said Hunters Ridge, Phase I, a total distance of 370.00 feet to a point in the south line of said Lot 34X, Block C and the north line of said Lot 1, Block 1, H.F. Stevens Addition;

THENCE South 89 degrees 48 minutes 26 seconds West, along the south line of said Lot 34X, Block C and the north line of said Lot 1, Block 1, H.F. Stevens Addition, a distance of 450.00 feet to the POINT OF BEGINNING and containing 162,483 square feet or 3.730 acre of land.

## NOTE:

Bearings are referenced to Texas State Plane Coordinate System, North Central Zone (4202), North American Datum of 1983 as derived from GPS observation.

**GOODWIN AND  
MARSHALL LLP**

CIVIL ENGINEERS ~ PLANNERS ~ SURVEYORS

2405 Mustang Drive, Grapevine, Texas 76051  
(817) 329 - 4373

TxEng Firm # F-2944 ~ TxSurv Firm # 10021700

Job No.: 10805

Scale: NONE

Drafted: T.J.M.

Checked: J.S.B.

Date Prepared: 4/12/2021

Sheet

**1**

of

**2**



*Joel S. Barton*



EXHIBIT "A"



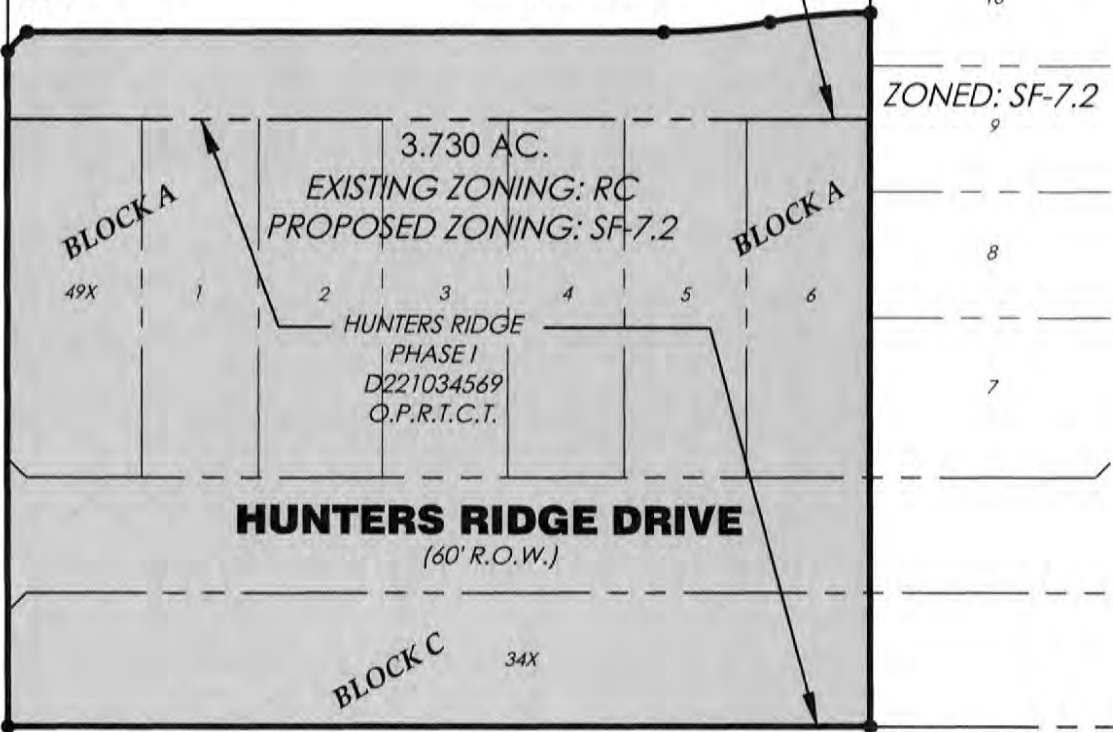
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SCALE IN FEET

**NORTH CROWLEY ROAD - F.M. 731**  
(VARIABLE WIDTH R.O.W.)

**H. LANE SURVEY**  
**ABSTRACT No. 927**

TRACT 1, PARCEL B  
BLOOMFIELD HOMES, L.P.  
D220347026  
O.P.R.T.C.T.

ZONED: RC



LOT 1, BLOCK 1  
H.F. STEVENS ADDITION  
CAB. A, SL. 1601  
P.R.T.C.T.

ZONED: SF-7.2

**GOODWIN AND  
MARSHALL INC.**

CIVIL ENGINEERS ~ PLANNERS ~ SURVEYORS

2405 Mustang Drive, Grapevine, Texas 76051  
(817) 329 - 4373

TxEng Firm # F-2944 - TxSurv Firm # 10021700

Job No.: 10805

Scale: 1"=100'

Drafted: T.J.M.

Checked: J.S.B.

Date Prepared: 4/12/2021

Sheet

**2**

of

**2**



*Joel S. Barton*



## City of Crowley City Council AGENDA REPORT

**Meeting Date:** May 20, 2021

**Agenda Item:** VI-2

**Staff Contact:** Rachel Roberts

**E-mail:** rroberts@ci.crowley.tx.us

**Phone:** 817/297-2201 x 3030

**SUBJECT:**

Hold a public hearing, discuss, and consider approval of a replat request by Bloomfield Homes for a portion of Hunters Ridge Phase 1 to create Lots 10R-20R & 50, Block A, Lots 33R, 34-49, and 50X, Block C, and Lots 1R-28R & 29XR, Block D. The property is located at 1400 N Crowley Rd. **RPLT-2021-001**

### BACKGROUND AND OVERVIEW

<b>Request</b>	Replat a portion of Hunters Ridge ph 1
<b>Applicant</b>	Bloomfield Homes
<b>Location</b>	Crowley Rd north of H F Stevens Middle School
<b>Surrounding Zoning</b>	SF-7.2 single family residential; Restricted commercial; Industrial
<b>Future Land Use Plan Designation</b>	Low density single family residential, Open Space/Park, and Traditional suburban commercial
<b>Staff Recommendation</b>	Approve
<b>Planning &amp; Zoning Commission Recommendation</b>	Approve

### BACKGROUND & CURRENT STATUS OF PROPERTY

The Hunters Ridge phase 1 final plat was approved last October, and the developer has begun infrastructure construction. However, as noted for the previous agenda item, TxDOT is requiring the developer to move the location of the main roadway connecting to Crowley Rd. Because moving the roadway changes the configuration of the road and some of the lots, a replat of Hunters Ridge phase 1 is needed. The replat would add approximately nine (9) lots.

### STAFF REVIEW

#### *Comprehensive Land Use Plan*

The Future Land Use Plan classifies this property as **Low Density Single Family Residential, Open Space/Park, and Traditional Suburban Commercial.**

The majority of the property in the replat area is categorized as Low Density Single Family Residential. A small portion of the residential lots (nine lots) is categorized as both Low Density Single Family Residential and Traditional Suburban Commercial, with the majority of each of those lots classified as residential. The commercial-zoned lots are mainly classified as Traditional Suburban Commercial, with creek/floodplain areas classified as open space/park.

The replat conforms to the comprehensive land use plan.

<i>Development Requirements</i>
In addition to conformance with the comprehensive land use plan, plats must also comply with applicable city regulations in order to be approved.

***Requirements from the Zoning Ordinance (Ch. 106)***

A portion of the property was zoned Restricted Commercial at the time the replat application was submitted. A rezoning request will be considered by the City Council prior to consideration of the replat. If the rezoning is approved, the replat will meet the requirements of the zoning ordinance.

***Requirements from the General Development Ordinance (Ch. 98)***

The replat meets the requirements of the GDO.

***Public Works / Infrastructure Requirements (Technical Specifications)***

The replat meets the city's infrastructure requirements.

**STAFF RECOMMENDATION**

Based on the above analysis, staff recommend approval if the rezoning has also been approved.

**RECOMMENDATION FROM THE PLANNING & ZONING COMMISSION**

The Planning & Zoning Commission considered this request on May 10. After holding a public hearing, the Commission voted to recommend approval.

**ACTION BY THE CITY COUNCIL**

Sample motions are provided below. You are not required to use any of these motions.

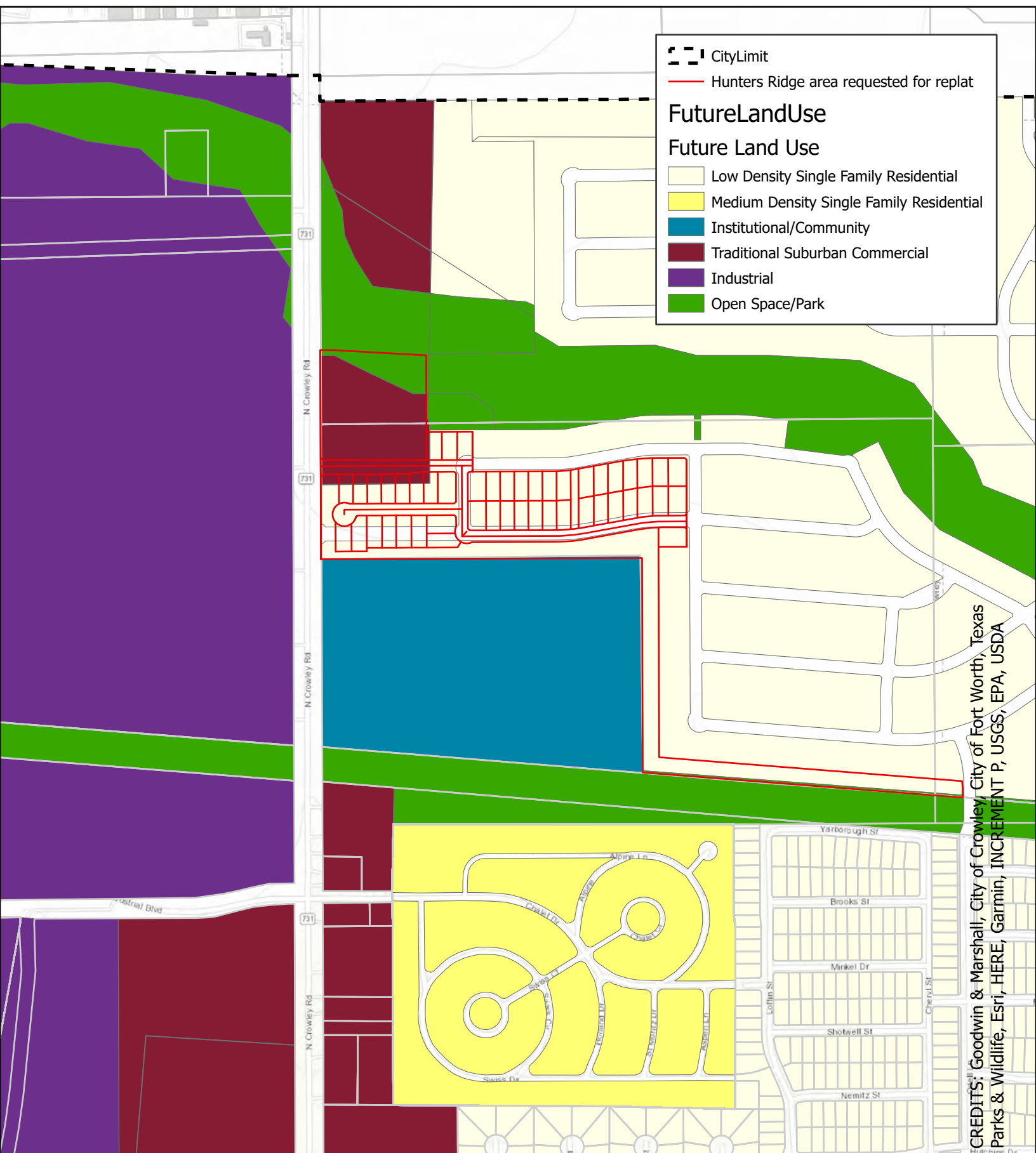
Approval: I find the request conforms to the comprehensive land use plan and meets city requirements. I make a motion to approve Case # RPLT-2021-001.

Approval with Conditions: I find the request conforms to the comprehensive land use plan and make a motion to approve Case # RPLT-2021-001 on the condition that [*list conditions*].

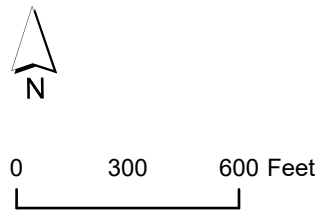
Deny: I find the proposed plat does not meet city requirements [*or does not conform to the comprehensive land use plan*] and make a motion to deny Case # RPLT-2021-001.

**ATTACHMENTS:**

- Map showing property location, future land use plan, and zoning
- Plat drawing
- Excerpt from Hunters Ridge phase 1 final plat
- Application

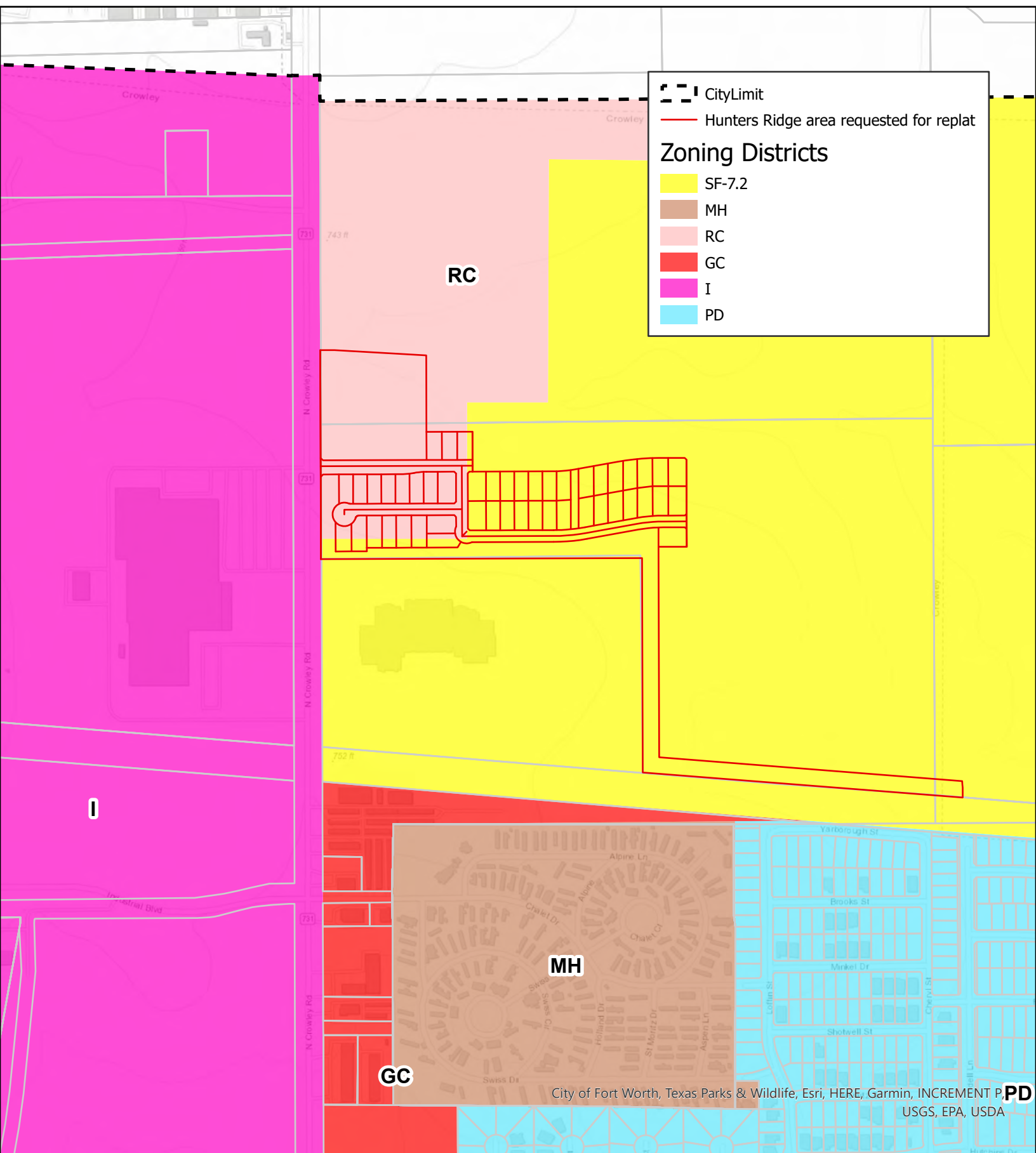


CREDITS: Goodwin & Marshall, City of Crowley, City of Fort Worth, Texas  
 Parks & Wildlife, Esri, HERE, Garmin, INCREMENT P, USGS, EPA, USDA



**RPLT-2021-001**  
**Future Land Use Plan for areas**  
**requested for replat**  
**(boundaries approximate)**



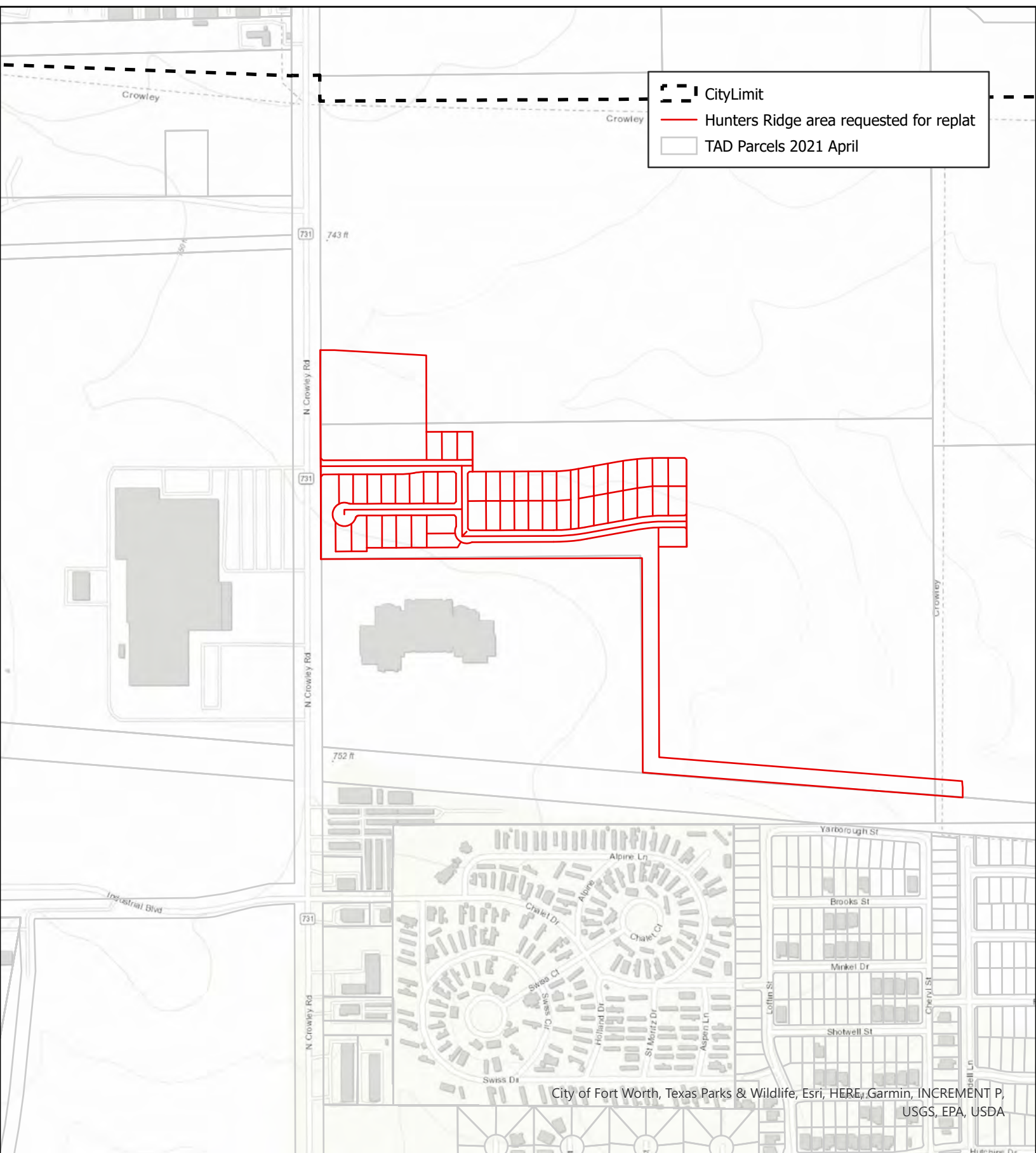


0 300 600 Feet

**RPLT-2021-001**  
**Zoning of areas for replat**  
**(boundaries approximate)**



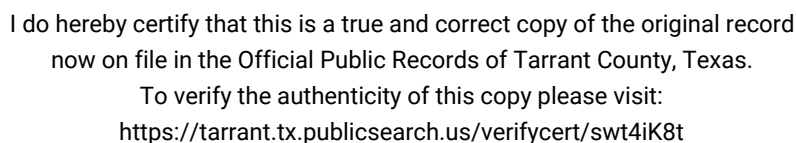




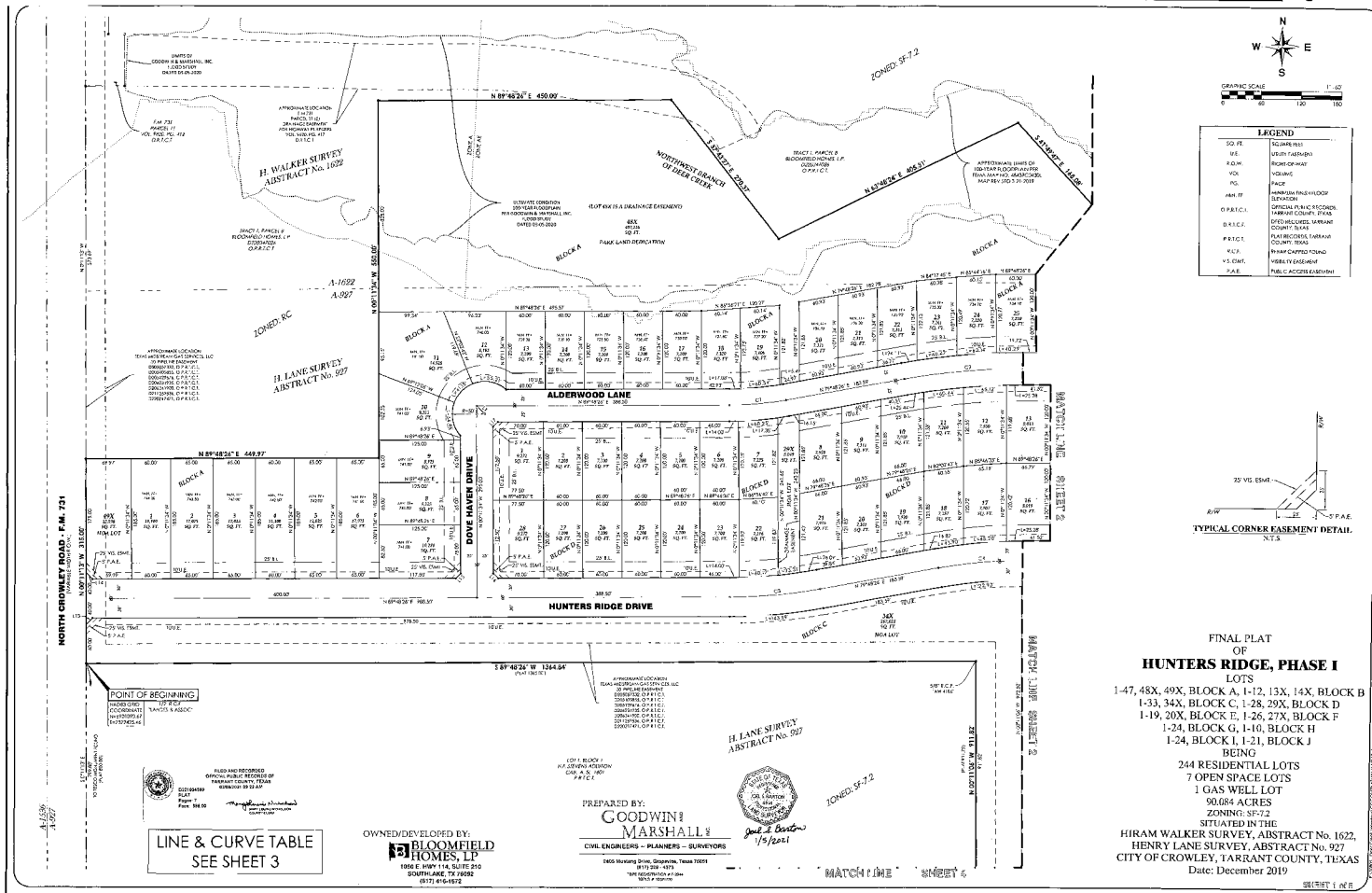
0 300 600 Feet

**RPLT-2021-001**  
**Location of area requested for replat**





*Mary Louise Nicholson* Digitally signed  
by Mary Louise Nicholson  
Date: 2021.03.25  
10:48:30 -05:00





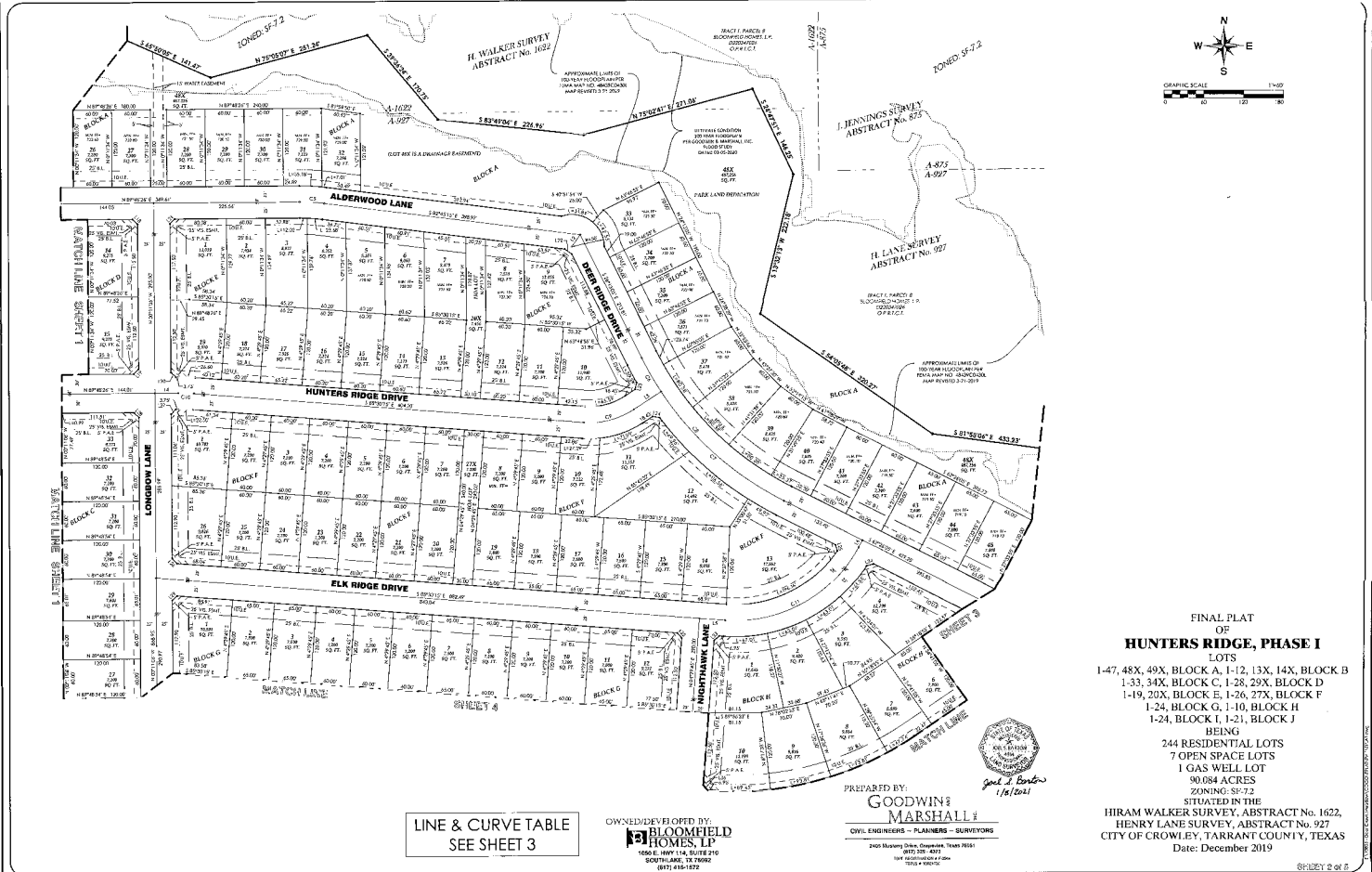
I do hereby certify that this is a true and correct copy of the original record now on file in the Official Public Records of Tarrant County, Texas.  
To verify the authenticity of this copy please visit:  
<https://tarrant.tx.publicsearch.us/verifcert/swt4iK8t>

Mary Louise Nicholson  
Tarrant County Clerk

Digitally signed  
by Mary Louise Nicholson  
Date: 2021.03.25  
10:48:30 -05:00

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Page 4 of 7







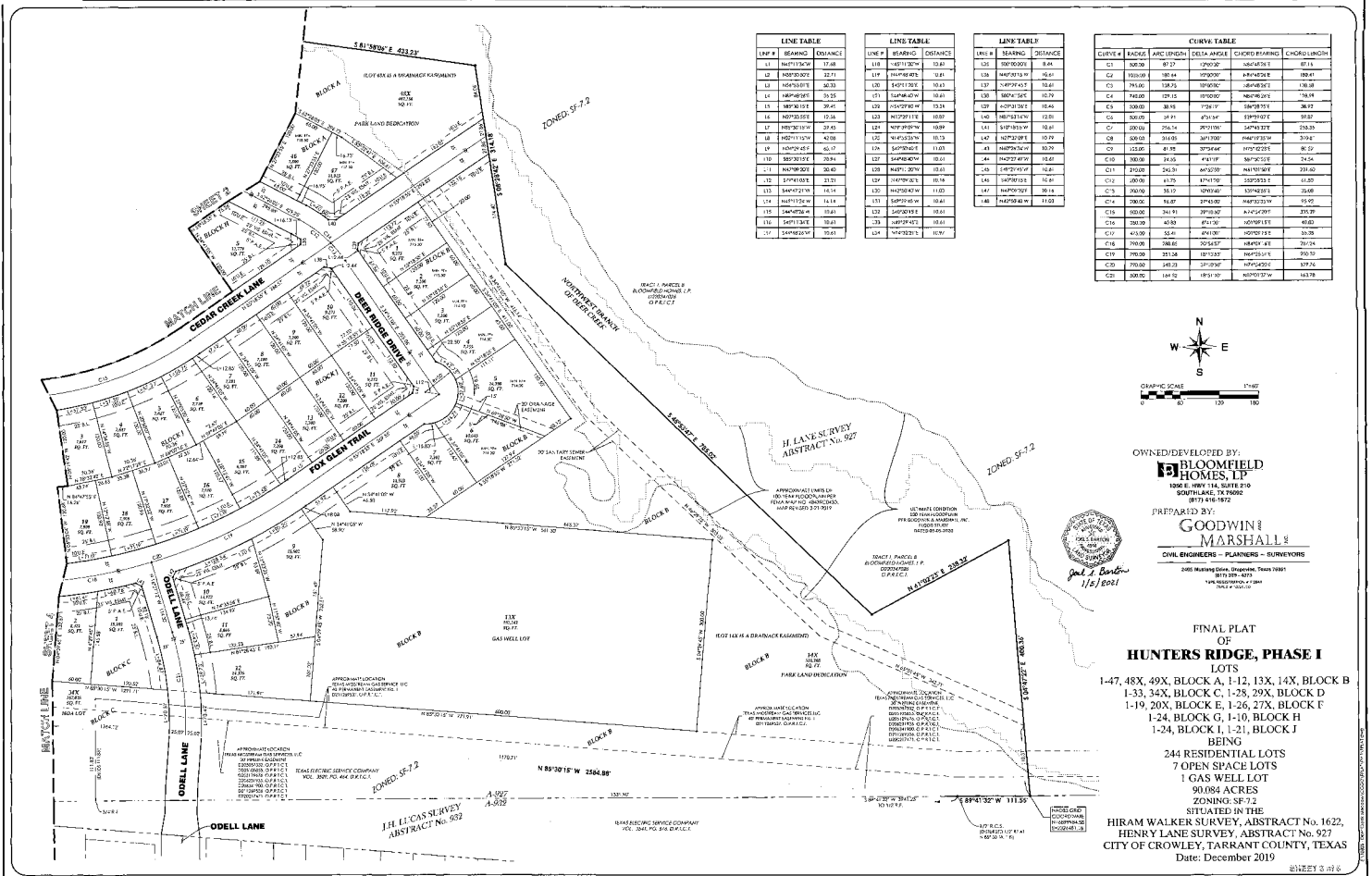
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Page 5 of 7





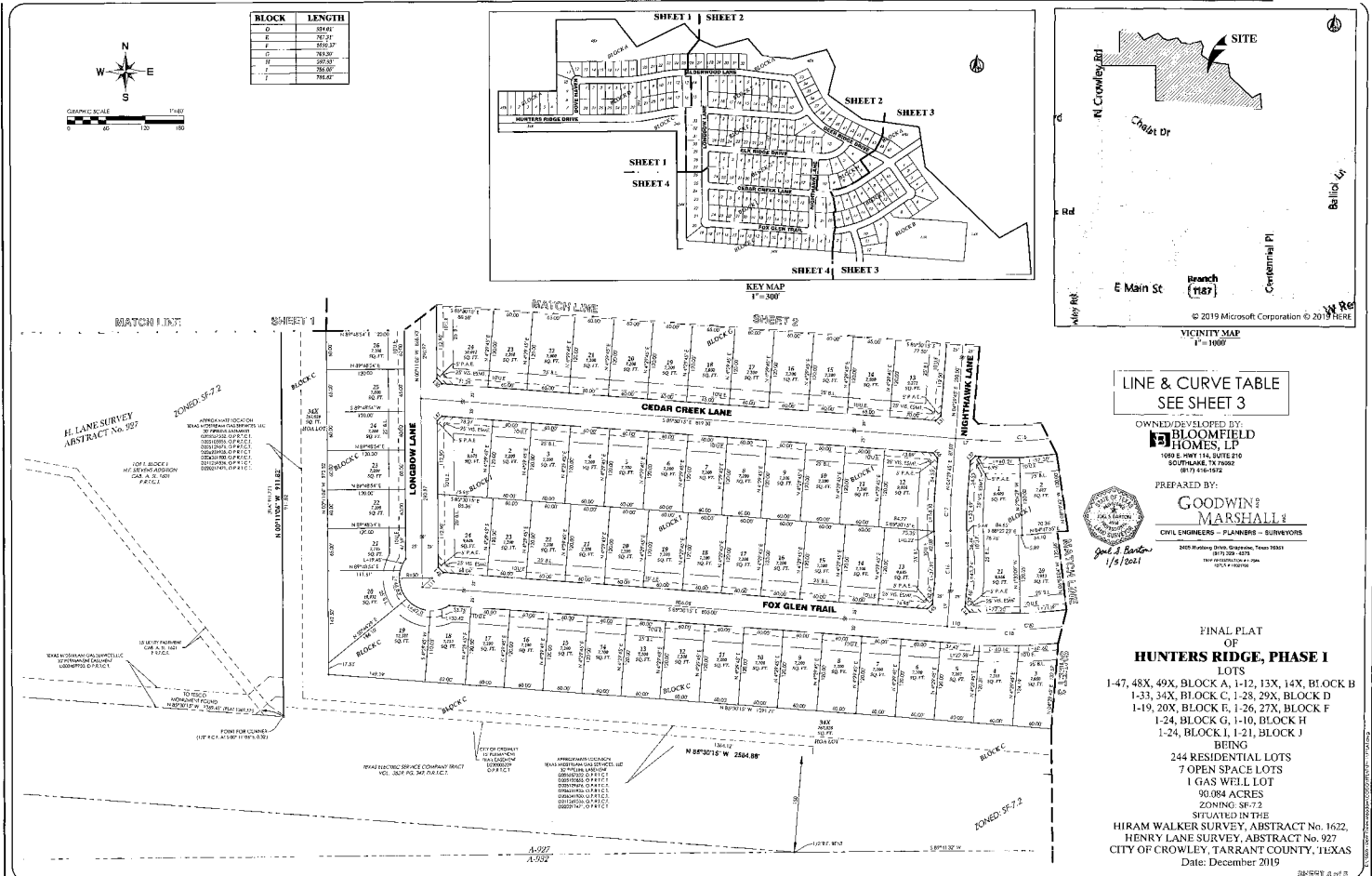
I do hereby certify that this is a true and correct copy of the original record now on file in the Official Public Records of Tarrant County, Texas.  
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Tarrant County Clerk

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## CITY OF CROWLEY PLAT APPLICATION



**Application Requirements:** Official tax certificates (one for each parcel) and applicable fees must be included with the plat application. Applications must also include either: 1) a completed Civil Plan Review application or 2) a letter of approval from the Public Works Department stating that the civil plans for this project have been approved or that plans are not required. Incomplete applications will not be accepted. The applicant is required to submit sufficient information that describes and justifies the proposal. See the attached checklist for minimum requirements.

Select the applicable plat type below:

	Preliminary Plat		Minor Plat
	Final Plat		Amending Plat
X	Replat		Vacating Plat

## Property Information

Project Name Hunters Ridge Phase 1

Project Address 998 N Crowley Rd.

Survey / Abstract, Hiram Walker Survey, Abstract No 1622

Tract(s) Henry Lane Survey, Abstract No. 927

Addition, Block, Lots A, C, D, 10R-12R & 50, 33R, 34-49 & 50X, 1R-28R & 29XR

Project Description Single Family Development

Gross Acreage 23.096 Zoning SF-7.2 & RC

# of Lots Proposed 48 Residential lots, 2 Open Space lots, & 1 Commercial Lot

## Applicant &amp; Owner Information

Applicant Clint Vincent Company Bloomfield Homes, LP

Applicant Address 1050 E. Hwy 114, Suite 210, Southlake, TX 76092

Telephone No 817-416-1572 Email \_\_\_\_\_

Ownership Status (check one) ☒ Property owner ☐ Authorized Representative ☐ Other (specify below)





## CITY OF CROWLEY PLAT APPLICATION

If applicant is not the property owner:

Owner Same as Applicant

Owner Address \_\_\_\_\_

Telephone No \_\_\_\_\_ Email \_\_\_\_\_

Developer Same as Applicant

Address \_\_\_\_\_

Telephone No \_\_\_\_\_ Email \_\_\_\_\_

Engineer Brent Caldwell, P.E. Company Goodwin and Marshall, Inc.

Address 2405 Mustang Drive, Grapevine, TX 76051

Telephone No 817-329-4373 Email \_\_\_\_\_

Surveyor Joel Barton, RPLS Company Goodwin and Marshall, Inc.

Address 2405 Mustang Drive, Grapevine, TX 76051

Telephone No 817-329-4373 Email \_\_\_\_\_

Land Planner \_\_\_\_\_ Company \_\_\_\_\_

Address \_\_\_\_\_

Telephone No \_\_\_\_\_ Email \_\_\_\_\_

**Point of contact:** This person will be the primary point of contact for all matters concerning this plat application.

Name Brent Caldwell, P.E. Company Goodwin and Marshall, Inc.

**If applicant is not the point of contact:**

Address 2405 Mustang Drive Telephone No 817-329-4373

City, State, Zip Grapevine, TX 76051 Email \_\_\_\_\_

### SIGNATURE OF APPLICANT

A notarized letter of authorization from the property owner is required if the applicant is not the owner.

SIGNATURE 

DATE 3-18-21

PRINTED NAME Timothy M. Starns



## City of Crowley City Council AGENDA REPORT

**Meeting Date:** May 20, 2021

**Agenda Item:** VI-3

**Staff Contact:** Rachel Roberts

**E-mail:** rroberts@ci.crowley.tx.us

**Phone:** 817/297-2201 x 3030

---

**SUBJECT:** Hold a public hearing to discuss and consider approval of Ordinance 05-2021-429, amending Ordinance No. 06-2018-332 (the Karis planned development district regulations) to correct clerical errors, amend front yard setbacks for certain lot types, add new lot types, update the text accompanying attached exhibits/illustrations, reorder certain sections, and renumber sections as needed. **ZCA-2021-002**

---

BACKGROUND AND OVERVIEW	
<b>Request</b>	Amend the regulations for the Karis planned development district
<b>Applicant</b>	Nehemiah Company
<b>Staff Recommendation</b>	Approve
<b>Planning &amp; Zoning Commission Recommendation</b>	Approve

<b>Request</b>	Amend the regulations for the Karis planned development district
<b>Applicant</b>	Nehemiah Company
<b>Staff Recommendation</b>	Approve
<b>Planning &amp; Zoning Commission Recommendation</b>	Approve

### BACKGROUND & OVERVIEW

The Karis planned development district was approved in 2018, and a preliminary plat was approved last month. While the developer was laying out the preliminary plat, they realized some changes were needed to the PD ordinance in order to develop the property as they had intended and to make for a simpler development and review process. The enclosed narrative from the developer describes the requested changes in detail, but a brief summary of the changes is provided below.

### STAFF REVIEW

#### *Description of requested changes*

#### **The changes are requested to:**

##### ***Correct clerical errors***

The ordinance would correct some clerical errors as described in the narrative. It also adds clarifying language to ensure consistency between the ordinance and the attached exhibits (some of the illustrations in the building elevation details are noted as “no street,” and this wording was changed to “mews” to better match the language in the rest of the ordinance).

##### ***Allow for more consistent setbacks***

- Single family detached lots with alley entry of 70’ width or less (with no mews) have front setbacks ranging from 13’ to 20’, and this change would set all the front setbacks for these lots to 20’.
- Most mews lots have a 3’ front setback, but the 50’ lot width types have a 15’ front setback. The amendment would set all mews lots at a 3’ front setback.

***Update the exhibits to reflect changes made in the ordinance text***

The illustrations included with the ordinance list lot size, setback, and other development requirements. If the text of the ordinance is amended, the illustrations need to be amended, too.

***Add three new lots types and change two lot types***

As described in the applicant's narrative, the ordinance would add three new lot types and amend two lot types.

New lot types

- 35' lot width single family detached (alley parking/mews-facing)
- 50' lot width single family detached home
- 40' lot width detached home with detached garage

Amended lot types

- reduces 65' lot width detached home to 60' lot width
- reduces 75' lot width detached home to 70' lot width

**STAFF RECOMMENDATION**

The changes would make the review process easier, and staff anticipate no adverse impact from the changes. In addition, there is no conflict with the comprehensive land use plan. Staff recommend approval.

**PLANNING & ZONING COMMISSION RECOMMENDATION**

The Planning & Zoning Commission held a public hearing on May 10. One property owner from Carson Ranch Estates outside the city limits spoke against the request (it was not clear from his statement, but it seemed as though he believed the request was for a zoning change that would directly affect his property). Another person who owns a rental house nearby asked to get more information about the project. After the hearing, the Commission voted to recommend approval.

**ACTION BY THE CITY COUNCIL**

Sample motions are provided below. You are not required to use these motions.

Approval: I make a motion to approve Ordinance # 05-2021-429.

Approval with Specific Changes: I make a motion to recommend approval of Ordinance # 05-2021-429 with the following changes [*list changes*].

Deny: I make a motion to deny Ordinance # 05-2021-429.

**ATTACHMENTS:**

- Narrative describing proposed changes
- Revised portions of the PD ordinance showing mark-ups
- Application

To:  
City of Crowley  
201 East Main  
Crowley, TX 76036  
Attn: Rachel Roberts

From:  
The Nehemiah Company  
2201 East Lamar Boulevard  
Arlington, TX 76006

Subject: Karis Addition, PD Amendment, Submittal Date: 04/05/2021

Dear Ms. Roberts,

This letter is a narrative of changes made to the Planned Development (Ordinance No. 06-2018-332) for the Karis Addition. Please note, writing that is red and struck out dictates a removal whereas blue is an addition or a replacement of information. Writing in black has had no change.

### **Narrative of Change**

1. Reference: pg.22 -23, **Table B-2 Building Setback, Area, and Bulk Requirements for Residential:**
  - a. The original intent of the PD is to ensure there will be a consistent front yard setback along all streets and mews. During the plating process, we discovered clerical errors in Table B-2 that would conflict with this intent. The below changes would remedy the clerical error:
    - i. To allow for a more consistent front yard setback across all street facing detached Residential Types lines:
      1. Instead of 13', a 33' wide lot Single Family Detached (SF-D) Residential Type shall have a Minimum Front Yard Setback (ft) of 20'.
      2. Instead of 19', a 35' wide lot Single Family Detached (SF-D) Residential Type shall have a Minimum Front Yard Setback (ft) of 20'.
      3. Instead of 13', a 45' Single Family Detached (SF-D) Residential Type shall have a Minimum Front Yard Setback (ft) of 20'.
    - ii. To allow a more consistent front yard setback across all mews facing detached Residential Types lines:
      1. Instead of 15', a 50' Single Family Detached (SF-D) Residential Type shall have a Minimum Front Yard Setback (ft) of 3'.

- iii. Due to the above-mentioned changes, as the Minimum Front Yard Setbacks are different for street facing detached Residential Types and mews facing detached Residential Types, then we needed to create new Residential Types to allow delineation. Those added include:
      - 1. 35' Single Family Detached Alley/Mews – same as the approved 35' Single Family Detached Alley but features a 3' Min. Front Yard Setback
      - 2. 40' Single Family Detached Alley/Mews – same as the approved 40' Single Family Detached Alley but features a 3' Min. Front Yard Setback
      - 3. 50' Single Family Detached Alley – same as the approved 40' Single Family Detached Alley/Mews but features a 20' Min. Front Yard Setback
    - b. For ease of use, we reorganized Table B-2 to be in numerical order by Minimum Lot Width. The table now begins with the 16' Single Family Attached products and ends with 100' Single Family Detached.
    - c. Referencing Error: For the 16' Single Family Attached Residential Type, Detached Garage Product, there is not an illustration as noted in the Special Conditions, thus “3 Unit and 6 Unit for Illustrative Purposes Only” was removed and in its place reads “Detached Garage Product.”
      - i. Due to the above-mentioned change, for the 16' Single Family Attached Residential Type, Attached Garage Product, “Attached Garage” was added to differentiate from “Detached Garage.”
    - d. Due to the above-mention changes to the order and additions of Residential Types, each line item had to be renumbered.
- 2. Reference: pg.22 -23, **Table B-2 Building Setback, Area, and Bulk Requirements for Residential**, and pg. 48, **Exhibit D: Number and Type of Dwellings**
  - a. As part of the PD, we are required to meet a Percentage of Total Units of each Type of Dwelling Unit. During the plating process, we discovered clerical errors in Table B-2 that conflicts with this requirement. The below changes would remedy the clerical errors:
    - i. The 65' Single Family Detached Residential Type becomes a 60' Single Family Detached – whereby changing the Minimum Lot Area from 6,500 to 6,000 SF and the Minimum Lot Width from 65' to 60.'
    - ii. The 75' Single Family Detached Residential Type becomes a 70' Single Family Detached – whereby changing the Minimum Lot Area from 7,500 to 7,000 SF and the Minimum Lot Width from 75' to 70.'
- 3. Reference: pg.23 -24, **Section D.1.e “Exceptions to Minimum Setback,”** and **Section D.1.f. (1-7), “Allowed Encroachments into Setbacks,”** and pg. 58-86, **Exhibit H: Building Elevations Detail**
  - a. The intent of **Exhibit H** is to be used for illustration purposes only, however we have notes on them, specifically, the section “*Exceptions to Minimum Setback*” and “*Allowed*



*Encroachments into Setbacks.*” For ease of use, we are keeping these notes in **Exhibit H**, however, they have been updated to exactly mirror **Section D.1.e** and **Section D.1.f.(1-7)**.

- i. References to detached garages on any attached garage Residential Type is a clerical error.

4. Reference: pg.22 -23, **Table B-2 Building Setback, Area, and Bulk Requirements for Residential** and pg. 58-86, **Exhibit H: Building Elevations Detail**

- a. The intent of **Exhibit H** is to be used for illustration purposes only, however we have notes on them, specifically, the section “*Housing Type Elements.*” For ease of use, we are keeping these notes in **Exhibit H**, however, they have been updated to exactly mirror the updates in Table B-2.
  - i. Where “*Min./Max. Front Yard Setback*” is used, *Max.* is removed to exactly mirror Table B-2 use of “*Minimum Front Yard Setback.*”:
    - ii. Due to the above-mentioned changes to Table B-2, we are carrying over the updated Minimum Front Yard Setbacks:
      1. Instead of 13’, a 33’ wide lot Single Family Detached (SF-D) Residential Type shall have a Minimum Front Yard Setback (ft) of 20’.
        - a. 13’ is removed from the graphic titled “View and Plan: Villa Home Site.”
      2. Instead of 19’, a 35’ wide lot Single Family Detached (SF-D) Residential Type shall have a Minimum Front Yard Setback (ft) of 20’.
        - a. 19’ is removed from the plan graphic.
      3. Instead of 13’, a 45’ Single Family Detached (SF-D) Residential Type shall have a Minimum Front Yard Setback (ft) of 20’.
        - a. 13’ is removed from the plan graphic.
      4. Instead of 15’, a 50’ Single Family Detached (SF-D) Residential Type shall have a Minimum Front Yard Setback (ft) of 3’.
        - a. 15’ is removed from the graphic titled “View and Plan: Alley Loaded 50’ Home with Attached Garage.”
    - iii. Due to the above-mentioned changes, as the Minimum Front Yard Setbacks are different for street facing detached Residential Types and mews facing detached Residential Types, then we needed to create new Residential Types to allow delineation. Those added include:
      1. 35’ Single Family Detached Alley/Mews – same as the approved 35’ Single Family Detached Alley but features a 3’ Min. Front Yard Setback
      2. 50’ Single Family Detached Alley – same as the approved 40’ Single Family Detached Alley/Mew but features a 20’ Min. Front Yard Setback
  - b. Clerical Error: 40’ Single Family Detached Alley/Mews – had to correct 20’ Min. Front Yard Setback to a 3’ Min. Front Yard Setback. And now Minimum Interior Side Yard Setback is 5’ per previous P&Z review comments.

- c. For ease of use, we reorganized **Exhibit H** to be in numerical order by Minimum Lot Width. The section now begins with the 16' Single Family Attached products and ends with 100' Single Family Detached.
    - i. In addition, for ease of use, if a Minimum Lot Width has multiple illustration, the illustrations were assigned in alphabetical order.
  - d. Clerical Error: Several illustrations were included in the original PD submission however they were not represented in Table B-2.
  - e. Referencing Error: For the 16' Single Family Attached Residential Type, Detached Garage Product, there is not an illustration, so an illustration was added.
  - f. Referencing Error: For the 16' Single Family Attached Residential Type, Attached Garage Product, there is not an illustration, so an illustration was added.
5. Reference: pg. 58-86, **Exhibit H: Building Elevations Detail** and pg. 43 of **section Q. Definitions**
- a. Some of the Residential Types in the Building Elevations Detail were titled with “No Street.” For clarification and to better align with Table B-2, “No Street” is replaced with “Mews” and the term “Mews” is defined in the definitions section of the PD.



facade. For homes with front porches, the front facade is considered to be the portion of the front porch closest to the front property line but in no event less than three feet behind the front of the house.

- a. All front entry garage homes must include upgraded garage doors, coach lights and additional architectural features in compliance with design guideline.
- d. Single Family Attached. The front facade of single family attached structure may not exceed 350 feet in length.

**Table B-2 Building Setback, Area, and Bulk Requirements for Residential**

	Residential Type	Example of Residential Type	Minimum Lot Area (SF)	Minimum Lot Width	Minimum Lot Depth	Maximum Number of Stories	Garage Orientation	Density Range (number of units per acre)	Minimum Front Yard Setback (ft)	Min. Interior Side Yard Setback (ft)	Min. Corner Side Yard Setback (ft)	Minimum Rear Yard Setback (ft)	Maximum Lot Coverage (%)	Min. Dwelling Unit Size (sf)	Special Conditions
<del>5</del> 1	SF-A	Single Family Attached	960	16'	60'	3	Alley	21-30	16	0'	15	5	80%	850	Attached Garage Product
<del>4</del> 2	SF-A	Single Family Attached	1,040	16'	65'	3	Alley	21-30	16	0'	15	5	80%	1,200	<del>3 Unit and 6 Unit for Illustrative Purposes Only</del> Detached Garage Product
<del>2</del> 3	SF-A	Single Family Attached	1,540	22'	70'	3	Alley	20-25	16	0'	15	5	80%	1,100	Attached Garage Product
<del>3</del> 4	SF-A	Single Family Attached	1,760	22'	80'	3	Alley	16-24	16	0'	15	5	80%	1,100	Detached Garage Product
<del>4</del> 5	SF-A	Single Family Attached (Tuck Under)	2,100	30'	70'	3	NA	15-20	16	0'	15	5	None	1,100	
6	SF-D	Single Family Detached	1,980	30'	66'	3	Alley/Mews	8-13	3	5	15	5	80%	1,200	
7	SF-D	Single Family Detached	1,980	33'	66'	3	Alley/Mews	8-13	3	5	15	5	80%	1,200	
8	SF-D	Single Family Detached	1,980	33'	66'	3	Alley	8-13	<del>13</del> 20	5	15	5	80%	1,200	
9	SF-D	Single Family Detached	3,150	35'	90'	3	Alley	8-13	<del>19</del> 20	5	15	5	80%	1,250	
10	SF-D	Single Family Detached	3,150	35'	90'	3	Alley/Mews	8-13	3	5	15	5	80%	1,250	

**Table B-2 Building Setback, Area, and Bulk Requirements for Residential**

	Residential Type	Example of Residential Type	Minimum Lot Area (SF)	Minimum Lot Width	Minimum Lot Depth	Maximum Number of Stories	Garage Orientation	Density Range (number of units per acre)	Minimum Front Yard Setback (ft)	Min. Interior Side Yard Setback (ft)	Min. Corner Side Yard Setback (ft)	Minimum Rear Yard Setback (ft)	Maximum Lot Coverage (%)	Min. Dwelling Unit Size (sf)	Special Conditions
<del>10</del> 11	SF-D	Single Family Detached	4,000	40'	100'	3	Alley	7-9	20	5	15	5	80%	1,600	Attached Garage
12	SF-D	Single Family Detached	4,000	40'	100'	3	Alley	7-9	20	5	15	5	80%	1,600	Detached Garage
13	SF-D	Single Family Detached	4,000	40'	100'	3	Alley/Mews	7-9	3	5	15	5	80%	1,600	
<del>11</del> 14	SF-D	Single Family Detached	4,500	45'	100'	3	Alley/Mews	7-9	3	5	15	5	80%	1,600	
<del>12</del> 15	SF-D	Single Family Detached	4,500	45'	100'	3	Alley	7-9	<del>13</del> 20	5	15	5	80%	1,600	
16 A-C	SF-D	Single Family Detached	5,000	50'	100'	3	Front, Alley or Side	9-10	20	5	15	5	80%	2,000	Attached Garage
17	SF-D	Single Family Detached	5,000	50'	100'	3	Alley	9-10	20	5	15	5	80%	2,000	Detached Garage
<del>13</del> 18	SF-D	Single Family Detached	5,000	50'	100'	3	Alley/Mews	9-10	<del>15</del> 3	5	15	5	80%	2,000	
<del>14</del> 19 A-C	SF-D	Single Family Detached	5,500	55'	100'	3	Front, Alley or Side	5-9	20	5	15	5	75%	2,500	
<del>15</del> 20 A-D	SF-D	Single Family Detached	<del>6,500</del> 6,000	<del>65'</del> 60'	100'	3	Front, Alley or Side	4-6	20	5	15	5	75%	3,000	
<del>16</del> 21 A-D	SF-D	Single Family Detached	<del>7,500</del> 7,000	<del>75'</del> 70'	100'	3	Front, Alley or Side	4-6	20	5	15	5	75%	3,000	
<del>17</del> 22 A-C	SF-D	Single Family Detached	10,400	80'	130'	3	Front, Alley or Side	3-5	24	7.5	15	5	75%	3,500	
<del>18</del> 23	SF-D	Single Family Detached	13,000	100	130	3	Front, Alley or Side	3-5	24	7.5	15	5	75%	3,500	No Illustration

(Drawings and photographs illustrating each housing type in Table B-2 are for illustrative purposes only, and homes are not required to be designed as illustrated.)

**LEGEND (Residential Type) SF-A = Single Family Attached. SF-D = Single Family Detached.**

NOTES: Front and corner setbacks are measured from back of the curb or property line.

- e. Exceptions to Minimum Setback: Minimum side setback to detached garages or accessory building may be reduced to 3' when greater setback would be otherwise required. (Subject to additional requirements from the City fire codes.)

12. Facade – Any separate face of a building that encloses or covers usable space. A roof is not a facade.
13. Farmers Market – The indoor or outdoor retail sale, by individual vendors, of farm products such as fruits, vegetables, herbs, spices, edible seeds, nuts, live plants, flowers, and honey.
14. Floor Area – An air-conditioned floor space.
15. Gas Well Drilling and Production – The development, exploration, and production of natural gas.
16. General Retail Store, Other Than Listed – A facility or area for the retail sale of general merchandise or food, but does not include uses specifically listed in this PD.
17. Group Cluster, 4 – A square or rectangular group of home consisting of four homes or lots fronting on a shared driveway off a public street and or alley.
18. Height – The vertical distance of a building measured from the average established grade at the street line or from the average natural front yard ground level, whichever is higher:
  - (1) To the highest point of the roof's surface if a flat surface;
  - (2) To the deck line of mansard roofs;
  - (3) To the mean height level between eaves and ridge for hip and gable roofs and, in any event, excluding chimneys, cooling towers, elevator bulkheads, penthouses, tanks, water towers, radio towers, ornamental cupolas, domes or spires, and parapet walls not exceeding ten feet in height; or
  - (4) If the street grade has not been officially established, the average front yard grade shall be used for a base level.
19. Land Use Category – One of the following land use categories identified on the permitted use table attached as **Exhibit B, Table B-1 Land Use Table**: (i) Residential; (ii) Public, civic, and utility; (iii) educational; (iv) amusement and entertainment; or (v) professional; (vi) commercial, retail and service; (vii) manufacturing and industrial; and (viii) accessory.
20. Library – An establishment for the loan or display of books.
21. Masonry – Stone or brick laid up unit by unit and set in mortar, or cultured stone, cast stone, stucco or natural stone panels.
22. Mews – A block type in which alley-fed, single-family lots are arranged around a common green with a walkway along the green.





Project # \_\_\_\_\_  
(to be assigned by City staff)

**Application Requirements:** The applicant is required to submit sufficient information that describes and justifies the proposal. See the appropriate check list and fee schedule for minimum requirements. Incomplete applications will not be processed.

#### Property Information

Project Name	<u>Karis Addition</u>	Legal Description	<u>FM Wells 1683; Thomas H. Toler 1536; Samule T Wells 1684;</u>
Project Address	<u>N/A</u>		<u>John C Hunton 728; Jose A Gill 568; John Click 287;</u>
			<u>J.W.Haynes 780; Sylvester S Reynolds 1316; and</u>
Project Description	<u>Master Plan Residential Community</u>		<u>Beverly Pool 1243</u>
Gross Acreage	<u>Approximate 565 Acre Tract</u>	# of Lots	<u>2,070</u>

#### Applicant & Owner Information

Applicant Name	<u>John Jordan</u>	Company	<u>The Nehemiah Company</u>
Owner Address	<u>2201 E. Lamar Blvd, Suite 115</u>	Telephone No	<u>(540)-845-2111</u>
City, State, Zip	<u>Arlington, TX 76006</u>	Email	_____

**Applicant Status (check one)**    ☐ Owner    ☒ **Representative\***    ☐ Tenant    ☐ Prospective Buyer

Property Owner	<u>CH TNC Karis Owner LLC</u>	Telephone No	<u>Robert Kembel</u>
Address	<u>2201 E Lamar Blvd, Suite 115</u>	Email	_____
City, State, Zip	<u>Arlington, TX 76006</u>		<u>817-200-6543</u>

#### Information Required for Zoning Change Requests

Current zoning: Planned Development

Proposed zoning: Planned Development

Future Land Use Map designation: Single Family Residential and School Site

Reason for requested change: Please see attached Narrative of Change

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

SIGNATURE OF APPLICANT (SIGN AND PRINT OR TYPE YOUR NAME)

SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

*[Handwritten Signature]*

*4/5/2021*

SIGNATURE OF PROPERTY OWNER:

SIGNATURE \_\_\_\_\_

DATE: \_\_\_\_\_

(Letter of authorization required if signature is other than property owner)

\*\*The property owner must sign the application or submit a notarized letter of authorization.

For City's Use Only

Project Number # \_\_\_\_\_

Date submitted: \_\_\_\_\_

Total Fee \$ \_\_\_\_\_

Paid by: ☐

check # \_\_\_\_\_

☐

credit card

☐

cash

Accepted By: \_\_\_\_\_

**Letter of Authorization from Owner of Property**

Project Name: Kanis Addition Submittal Date: 04/05/2021


Application Type: Planned Development Amendment

I, Robert Kambel (Printed name of the owner or authorized agent of the owner) hereby certify that I am the owner or duly authorized agent of the owner of the subject property for the purpose of this application. I hereby give CONSENT to John Jordan to act on my behalf, to submit or have submitted this application and all required material and documents, and to attend and represent me at all meetings and public hearings pertaining to the applications(s) indicated above. Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify I have full knowledge of the property, and I have an ownership interest in the property that is the subject of this application. I further certify that statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material, and all attachments will become official records of the City of Crowley and will not be returned. I understand that any false, inaccurate, or incomplete information provided by me or my agent/representative will result in the denial, revocation, or administrative withdrawal of this application, request, approval, or permit. I acknowledge that additional information may be required to process the application. I further agree to all terms and conditions, which may be imposed as part of the approval of this application.

I hereby authorize the City of Crowley, its agents or employees, to enter the subject property at any reasonable time for the purpose of 1) erecting, maintaining, or removing "Change of Zoning" signs, which indicate that a zoning amendment is under consideration and which indicates how further information may be obtained, and 2) taking photographs documenting current use and current conditions of the property; and further, I release the City of Crowley, its agents or employees from liability for any damages which may be incurred to the subject property in the erecting, maintaining, or removal of said signs or the taking of said photographs.

**PROPERTY OWNER**

Name: Robert Kambel Signature: X 

Address: 2201 E Lamar Blvd, 115 City, State, Zip: Arlington, TX 76006

**AGENT/ REPRESENTATIVE**

Name: John Jordan

Address: 2201 E Lamar Blvd, 115 City, State, Zip: Arlington, TX 76006

**ACKNOWLEDGMENT**

The State of Texas

County of Tarrant

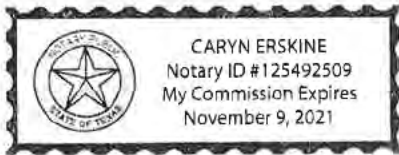
SUBSCRIBED AND SWORN BEFORE ME, on this the 1<sup>st</sup> day of April,  
2021.

My Commission Expires:

11/9/2021

Caryn Erskine  
Notary Public, State of Texas

Caryn Erskine  
Printed or Typed Name of Notary





**ORDINANCE NO. 05-2021-429**

**AN ORDINANCE OF THE CITY OF CROWLEY, TEXAS AMENDING ORDINANCE 06-2018-332, THE PLANNED DEVELOPMENT DISTRICT FOR KARIS; PROVIDING THAT THIS ORDINANCE SHALL BE CUMULATIVE OF ALL ORDINANCES; PROVIDING FOR A SAVINGS CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY FOR VIOLATIONS HEREOF; PROVIDING FOR PUBLICATION IN THE OFFICIAL NEWSPAPER; AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS**, the City of Crowley, Texas, is a home rule city acting under its charter adopted by the electorate pursuant to Article XI, Section 5 of the Texas Constitution and Chapter 9 of the Local Government Code; and

**WHEREAS**, the City Council of the City of Crowley heretofore adopted Chapter 106 of the City Code, being the Comprehensive Zoning Ordinance of the City of Crowley (the Zoning Ordinance), which regulates zoning of land as may be best suited to carry out these regulations; and

**WHEREAS**, the City Council of the City of Crowley adopted Ordinance 06-2018-332 on June 7, 2018, establishing the Karis planned development district; and

**WHEREAS**, the developer of the Karis planned development district, The Nehemiah Company, has requested to make certain amendments to the planned development district regulations; and

**WHEREAS**, the City Council of the City of Crowley deems it advisable and in the public interest to make certain amendments to the planned development district regulations for the Karis development; and

**WHEREAS**, the Planning and Zoning Commission of the City of Crowley, Texas held a public hearing on May 10, 2021, and the City Council of the City of Crowley, Texas, held a public hearing on May 20, 2021, with respect to the amendments described herein; and

**WHEREAS**, the City has complied with all requirements of Chapter 211 of the Local Government Code, and all other laws dealing with notice, publication and procedural requirements for amending the Zoning Ordinance.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CROWLEY, TEXAS, THAT:**

**SECTION 1.**

The Zoning Ordinance of the City of Crowley, as amended, is hereby amended by amending certain sections of the ordinance establishing the approximately 565-acre tract known as the Karis planned development district (the "Property"), as described in the ordinance adopted on June 7, 2018 as Ordinance # 06-2018-332. Ordinance # 06-2018-332 is hereby specifically amended as follows, but otherwise remains in full force and effect:

- (1) That Table B-2 "Building Setback, Area, and Bulk Requirements for Residential" in Exhibit B "Development Standards" is hereby amended to read as follows:

**Table B-2 Building Setback, Area, and Bulk Requirements for Residential**

	Residential Type	Example of Residential Type	Minimum Lot Area (SF)	Minimum Lot Width	Minimum Lot Depth	Maximum Number of Stories	Garage Orientation	Density Range (number of units per acre)	Minimum Front Yard Setback (ft)	Min. Interior Side Yard Setback (ft)	Min. Corner Side Yard Setback (ft)	Minimum Rear Yard Setback (ft)	Maximum Lot Coverage (%)	Min. Dwelling Unit Size (sf)	Special Conditions
1	SF-A	Single Family Attached	960	16'	60'	3	Alley	21-30	16	0'	15	5	80%	850	Attached Garage Product
2	SF-A	Single Family Attached	1,040	16'	65'	3	Alley	21-30	16	0'	15	5	80%	1,200	Detached Garage Product
3	SF-A	Single Family Attached	1,540	22'	70'	3	Alley	20-25	16	0'	15	5	80%	1,100	Attached Garage Product
4	SF-A	Single Family Attached	1,760	22'	80'	3	Alley	16-24	16	0'	15	5	80%	1,100	Detached Garage Product
5	SF-A	Single Family Attached (Tuck Under)	2,100	30'	70'	3	NA	15-20	16	0'	15	5	None	1,100	
6	SF-D	Single Family Detached	1,980	30'	66'	3	Alley/Mews	8-13	3	5	15	5	80%	1,200	
7	SF-D	Single Family Detached	1,980	33'	66'	3	Alley/Mews	8-13	3	5	15	5	80%	1,200	
8	SF-D	Single Family Detached	1,980	33'	66'	3	Alley	8-13	20	5	15	5	80%	1,200	
9	SF-D	Single Family Detached	3,150	35'	90'	3	Alley	8-13	20	5	15	5	80%	1,250	
10	SF-D	Single Family Detached	3,150	35'	90'	3	Alley/Mews	8-13	3	5	15	5	80%	1,250	
11	SF-D	Single Family Detached	4,000	40'	100'	3	Alley	7-9	20	5	15	5	80%	1,600	Attached Garage
12	SF-D	Single Family Detached	4,000	40'	100'	3	Alley	7-9	20	5	15	5	80%	1,600	Detached Garage
13	SF-D	Single Family Detached	4,000	40'	100'	3	Alley/Mews	7-9	3	5	15	5	80%	1,600	
14	SF-D	Single Family Detached	4,500	45'	100'	3	Alley/Mews	7-9	3	5	15	5	80%	1,600	
15	SF-D	Single Family Detached	4,500	45'	100'	3	Alley	7-9	20	5	15	5	80%	1,600	



16 A-C	SF-D	Single Family Detached	5,000	50'	100'	3	Front, Alley or Side	9-10	20	5	15	5	80%	2,000	Attached Garage
17	SF-D	Single Family Detached	5,000	50'	100'	3	Alley	9-10	20	5	15	5	80%	2,000	Detached Garage
18	SF-D	Single Family Detached	5,000	50'	100'	3	Alley/Mews	9-10	3	5	15	5	80%	2,000	
19 A-C	SF-D	Single Family Detached	5,500	55'	100'	3	Front, Alley or Side	5-9	20	5	15	5	75%	2,500	
20 A-D	SF-D	Single Family Detached	6,000	60'	100'	3	Front, Alley or Side	4-6	20	5	15	5	75%	3,000	
21 A-D	SF-D	Single Family Detached	7,000	70'	100'	3	Front, Alley or Side	4-6	20	5	15	5	75%	3,000	
22 A-C	SF-D	Single Family Detached	10,400	80'	130'	3	Front, Alley or Side	3-5	24	7.5	15	5	75%	3,500	
23	SF-D	Single Family Detached	13,000	100	130	3	Front, Alley or Side	3-5	24	7.5	15	5	75%	3,500	No Illustration

- (2) That Section Q “Definitions” of Exhibit B “Development Standards” is hereby amended to add the following definition, and the subsequent definitions are hereby renumbered.

Mews – A block type in which alley-fed, single-family lots are arranged around a common green with a walkway along the green.

- (3) That Exhibit H “Building Elevations Detail” is hereby replaced with the attached Exhibit ‘H’.

## **SECTION 2.**

This Ordinance shall be cumulative of all provisions of ordinances and of the Code of Ordinances of the City of Crowley, Texas, and the zoning ordinances as amended, except where the provisions of this Ordinance are in direct conflict with the provisions of such ordinances and such code, in which event the conflicting provisions of such ordinances and such code are hereby repealed.

## **SECTION 3.**

It is hereby declared to be the intention of the City Council that the sections, paragraphs, sentences, clauses, and phrases of this Ordinance are severable, and if any section, paragraph, sentence, clause, or phrase of this Ordinance shall be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining sections, paragraphs, sentences, clauses, and phrases of this Ordinance, since the same would have been enacted by the City Council without the incorporation in this Ordinance of any such unconstitutional section, paragraph, sentence, clause or phrase.

## **SECTION 4.**

All rights and remedies of the City of Crowley are expressly saved as to any and all violations of the provisions of any ordinances governing zoning that have accrued at the time of the effective date of this Ordinance; and, as to such accrued violations and all pending litigation, both civil and criminal, whether

pending in court or not, under such ordinances, same shall not be affected by this Ordinance but may be prosecuted until final disposition by the courts.

**SECTION 5.**

Any person, firm, or corporation who violates, disobeys, omits, neglects or refuses to comply with or who resists the enforcement of any of the provisions of this Ordinance shall be fined not more than Two Thousand Dollars (\$2,000.00). Each day that a violation is permitted to exist shall constitute a separate offense.

**SECTION 6.**

The City Secretary of the City of Crowley is hereby directed to publish in the official newspaper of the City of Crowley, the caption, penalty clause, and effective date clause of this ordinance as authorized by the City Charter and Section 52.013 of the Local Government Code.

**SECTION 7.**

This ordinance shall be in full force and effect from and after its passage and publication as required by law and it is so ordained.

**PASSED AND APPROVED THIS THE 20TH DAY OF MAY 2021.**

CITY OF CROWLEY, TEXAS

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Billy P. Davis  
MAYOR

ATTEST:

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Carol C. Konhauser  
CITY SECRETARY

APPROVED AS TO FORM:

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Rob Allibon  
CITY ATTORNEY

Exhibit 'H'

Replacing Exhibit 'H' – Building Elevations Detail

# 1 | TOWNHOME, PRODUCT TYPES: ALLEY ENTRY, ATTACHED GARAGE



## TOWNHOMES: ALLEY ENTRY, ATTACHED GARAGE

Townhomes are attached housing types frequently used for transition between urban multi-family and single family lot areas. Each unit is located on a separate platted lot.

### HOUSING TYPE ELEMENTS:

Lot Area: 960 SF min.  
Lot Width: 16' min.  
Lot Depth: 60' min.  
Maximum Number of Stories: 3  
Garage Orientation: Alley  
Min. Front Yard Setback: 16'  
Minimum Interior Side Yard Setback: 0'  
Minimum Corner Side Yard Setback: 15' Back of curb  
Minimum Rear Yard Setback: 5'  
Minumum Dwelling Unit Size: 850 SF

### EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to accessory building may be reduced to 3' (with the Town Architect's approval) when greater setback would be otherwise required.\*

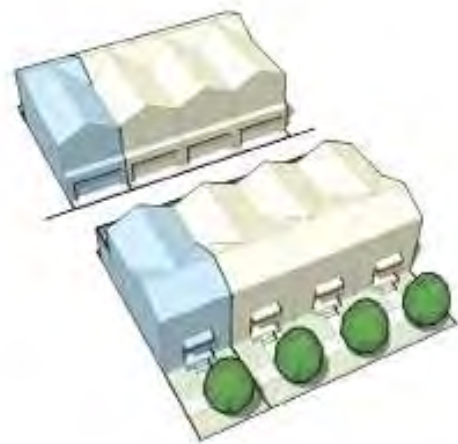
### ALLOWED ENCROACHMENTS INTO SETBACK\*:

1. Porches: up to 7' into front setback and 3' into corner side yard setback but in no event into the Public Sidewalk, Drainage, Utility, and City Construction Easement (PDUCE), private utility easement, or any public easement.
2. Box windows and fireplaces that do not extend to the foundation (up to 2' into all setbacks).
3. Balconies, awnings, and overhanging eaves (up to 2' into all setbacks).
4. Bay windows and fireplaces that extend to the foundation (up to 4' into front and corner side yard setbacks).
5. Stoops and stairs (up to 5' into front and rear setbacks).
6. Foundation encroachments of 4" to 6" on all setbacks are allowed for architectural details such as brick ledges.

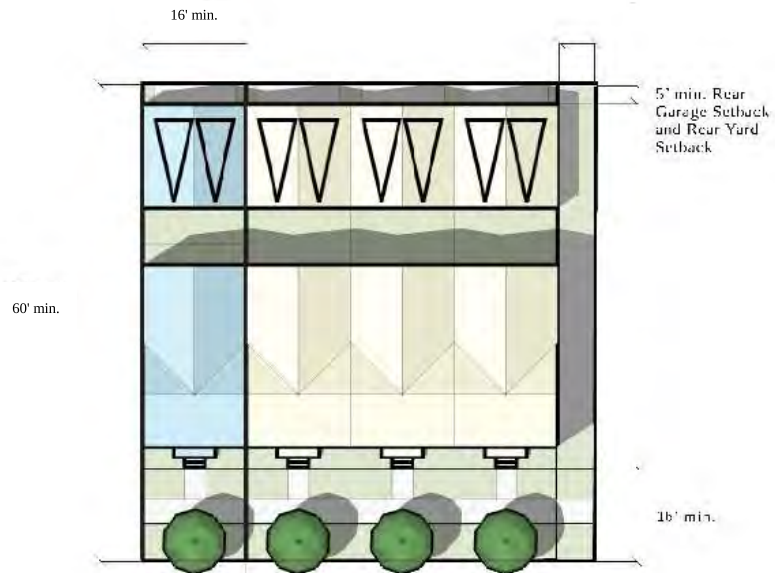
### ARCHITECTURAL ELEMENTS:

- Columns at entries and porches shall have enhanced materials. Masonry or a combination of wood and masonry is acceptable.

*\*Subject to additional fire rating requirements of City of Crowley*



View and Plan: Townhome with Attached Garage



*Illustrations may not accurately reflect all lot variations. Please see text for specific requirements*

## 2 | TOWNHOMES: ALLEY ENTRY, DETACHED GARAGE

### HOUSING TYPE ELEMENTS:

Lot Area: 1,040 SF min.

Lot Width: 16' min.

Lot Depth: 65' min.

Maximum Number of Stories: 3

Garage Orientation: Alley

Min. Front Yard Setback: 16' Back of curb

Minimum Interior Side Yard Setback: 0'

Minimum Corner Side Yard Setback: 15' Back of curb

Minimum Rear Yard Setback: 5'

Minimum Dwelling Unit Size: 1,200 SF

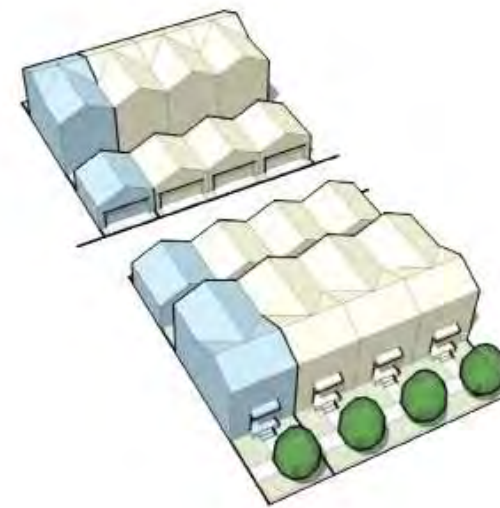
### EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building may be reduced to 3' (with the Town Architect's approval) when greater setback would be otherwise required.\*

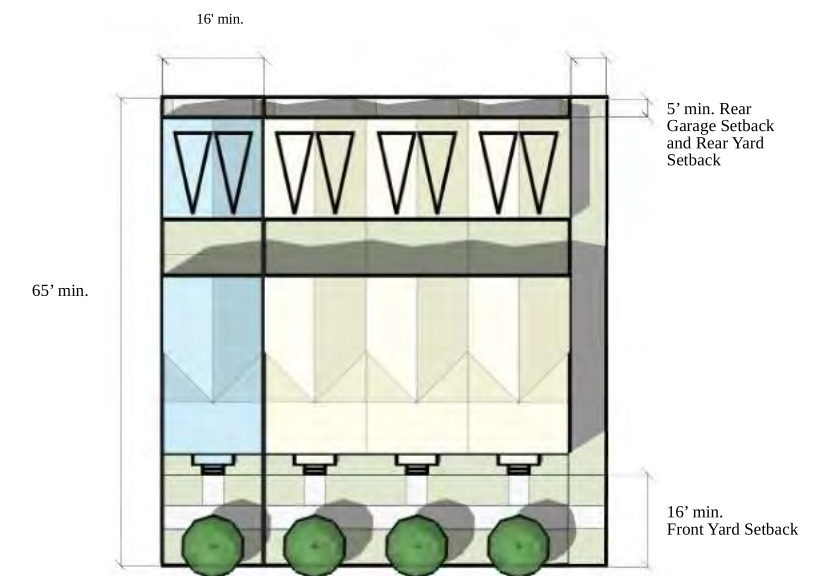
### ALLOWED ENCROACHMENTS INTO SETBACK\*:

1. Porches: up to 7' into front setback and 3' into corner side yard setback but in no event into the Public Sidewalk, Drainage, Utility, and City Construction Easement (PDUCE), private utility easement, or any public easement.
2. Box windows and fireplaces that do not extend to the foundation (up to 2' into all setbacks).
3. Balconies, awnings, and overhanging eaves (up to 2' into all setbacks).
4. Bay windows and fireplaces that extend to the foundation (up to 4' into front and corner side yard setbacks).
5. Stoops and stairs (up to 5' into front and rear setbacks).
6. Foundation encroachments of 4" to 6" on all setbacks are allowed for architectural details such as brick ledges.

*\*Subject to additional fire rating requirements of City of Crowley*



View and Plan: Townhome with Detached Garage



*Illustrations may not accurately reflect all lot variations. Please see text for specific requirements*



# 3 | TOWNHOME, PRODUCT TYPES: ALLEY ENTRY, ATTACHED GARAGE



## TOWNHOMES: ALLEY ENTRY, ATTACHED GARAGE

Townhomes are attached housing types frequently used for transition between urban multi-family and single family lot areas. Each unit is located on a separate platted lot.

### HOUSING TYPE ELEMENTS:

Lot Area: 1,540 SF min.  
Lot Width: 22' min.  
Lot Depth: 70' min.  
Maximum Number of Stories: 3  
Garage Orientation: Alley  
Min./Max. Front Yard Setback: 16'  
Minimum Interior Side Yard Setback: 0'  
Minimum Corner Side Yard Setback: 15' Back of curb  
Minimum Rear Yard Setback: 5'  
Minumum Dwelling Unit Size: 1,100 SF

### EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to ~~detached garages or~~ accessory building may be reduced to 3' (with the Town Architect's approval) when greater setback would be otherwise required.\*

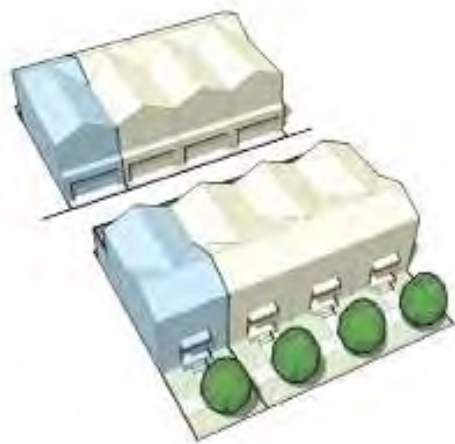
### ALLOWED ENCROACHMENTS INTO SETBACK\*:

1. Porches: up to 7' into front setback and 3' into corner side yard setback but in no event into the Public Sidewalk, Drainage, Utility, and City Construction Easement (PDUCE), private utility easement, or any public easement.
2. Box windows and fireplaces that do not extend to the foundation (up to 2' into all setbacks).
3. Balconies, awnings, and overhanging eaves (up to 2' into all setbacks).
4. Bay windows and fireplaces that extend to the foundation (up to 4' into front and corner side yard setbacks).
5. Stoops and stairs (up to 5' into front and rear setbacks).
6. Foundation encroachments of 4" to 6" on all setbacks are allowed for architectural details such as brick ledges.

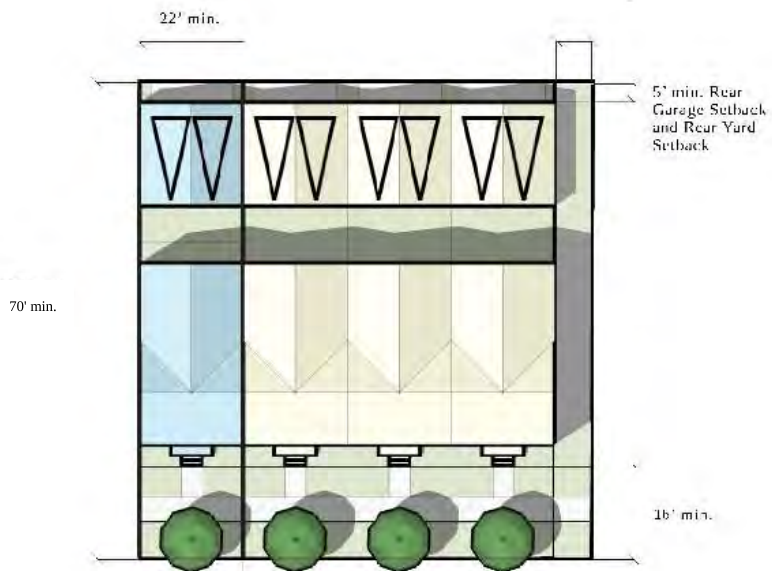
### ARCHITECTURAL ELEMENTS:

- Columns at entries and porches shall have enhanced materials. Masonry or a combination of wood and masonry is acceptable.

*\*Subject to additional fire rating requirements of City of Crowley*



View and Plan: Townhome with Attached Garage



*Illustrations may not accurately reflect all lot variations. Please see text for specific requirements*



## 4 | TOWNHOMES: ALLEY ENTRY, DETACHED GARAGE

### HOUSING TYPE ELEMENTS:

Lot Area: 1,760 SF min.

Lot Width: 22' min.

Lot Depth: 80' min.

Maximum Number of Stories: 3

Garage Orientation: Alley

Min. ~~Max.~~ Front Yard Setback: 16' Back of curb

Minimum Interior Side Yard Setback: 0'

Minimum Corner Side Yard Setback: 15' Back of curb

Minimum Rear Yard Setback: 5'

Minumum Dwelling Unit Size: 1,100 SF

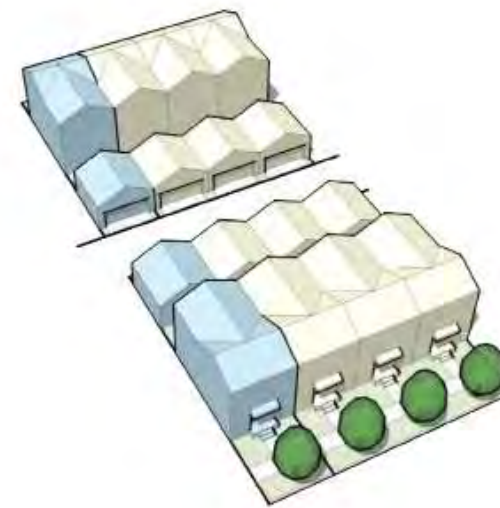
### EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building may be reduced to 3' (with the Town Architect's approval) when greater setback would be otherwise required.\*

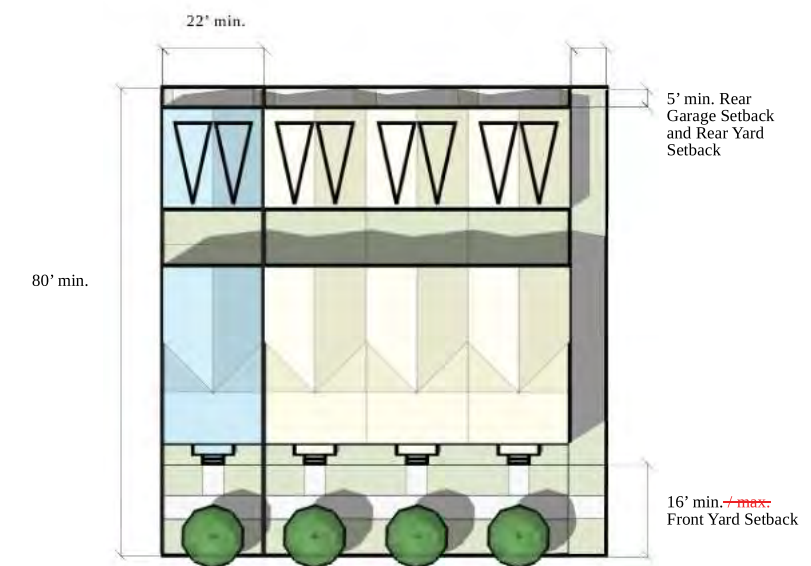
### ALLOWED ENCROACHMENTS INTO SETBACK\*:

1. Porches: up to 7' into front setback and 3' into corner side yard setback but in no event into the Public Sidewalk, Drainage, Utility, and City Construction Easement (PDUCE), private utility easement, or any public easement.
2. Box windows and fireplaces that do not extend to the foundation (up to 2' into all setbacks).
3. Balconies, awnings, and overhanging eaves (up to 2' into all setbacks).
4. Bay windows and fireplaces that extend to the foundation (up to 4' into front and corner side yard setbacks).
5. Stoops and stairs (up to 5' into front and rear setbacks).
6. Foundation encroachments of 4" to 6" on all setbacks are allowed for architectural details such as brick ledges.

*\*Subject to additional fire rating requirements of City of Crowley*

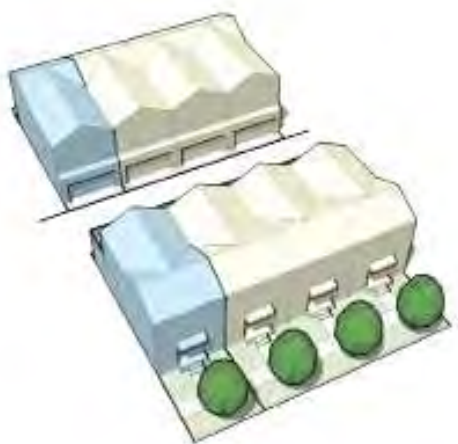


View and Plan: Townhome with Detached Garage

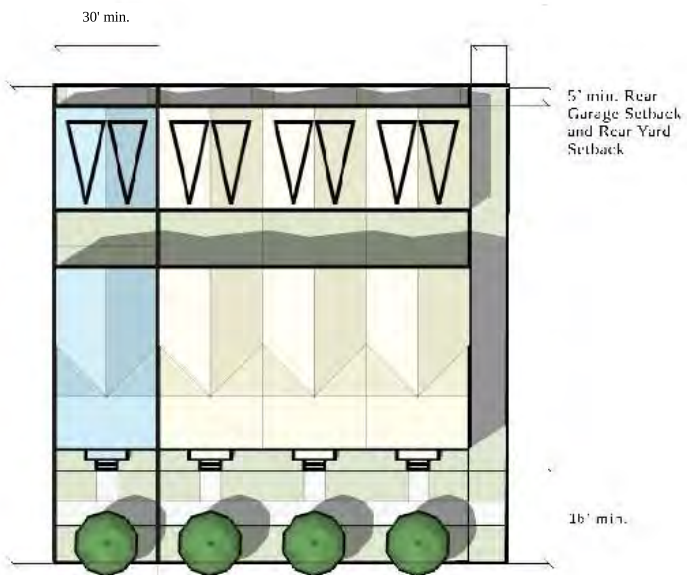


*Illustrations may not accurately reflect all lot variations. Please see text for specific requirements*

# 5 | TOWNHOME, PRODUCT TYPES: ALLEY ENTRY, TUCK UNDER GARAGE



View and Plan: Townhome with Attached Garage



Illustrations may not accurately reflect all lot variations. Please see text for specific requirements

## TOWNHOMES: ALLEY ENTRY, TUCK UNDER GARAGE

Townhomes are attached housing types frequently used for transition between urban multi-family and single family lot areas. Each unit is located on a separate platted lot.

### HOUSING TYPE ELEMENTS:

- Lot Area: 2,100 SF min.
- Lot Width: 30' min.
- Lot Depth: 70' min.
- Maximum Number of Stories: 3
- Garage Orientation: NA
- Min. Front Yard Setback: 16'
- Minimum Interior Side Yard Setback: 0'
- Minimum Corner Side Yard Setback: 15' Back of curb
- Minimum Rear Yard Setback: 5'
- Minumum Dwelling Unit Size: 1,100 SF

### EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to accessory building may be reduced to 3' (with the Town Architect's approval) when greater setback would be otherwise required.\*

### ALLOWED ENCROACHMENTS INTO SETBACK\*:

1. Porches: up to 7' into front setback and 3' into corner side yard setback but in no event into the Public Sidewalk, Drainage, Utility, and City Construction Easement (PDUCE), private utility easement, or any public easement.
2. Box windows and fireplaces that do not extend to the foundation (up to 2' into all setbacks).
3. Balconies, awnings, and overhanging eaves (up to 2' into all setbacks).
4. Bay windows and fireplaces that extend to the foundation (up to 4' into front and corner side yard setbacks).
5. Stoops and stairs (up to 5' into front and rear setbacks).
6. Foundation encroachments of 4" to 6" on all setbacks are allowed for architectural details such as brick ledges.

### ARCHITECTURAL ELEMENTS:

- Columns at entries and porches shall have enhanced materials. Masonry or a combination of wood and masonry is acceptable.

*\*Subject to additional fire rating requirements of City of Crowley*



## 6 | GREEN COURT HOMES: ALLEY ENTRY



The Green Court Homesite is a block type in which alley-fed, small single-family lots are arranged around a common green. The cluster, with its depth of not more than 150', should have at least one public street along the green space. A common walkway along the green serves all lots. This type has been proven to be a very popular option, especially for young couples, young families, and empty nesters. The shared green provides safety for younger children and a park-like atmosphere in which to play without crossing any streets. On top of that, the court-facing homes allow for easy supervision by parents or community members. The homes face a common green space, parking must be accessed from rear alleys.

### HOUSING TYPE ELEMENTS:

Lot Area: 1,980 SF min.

Lot Width: 30' min.

Lot Depth: 66' min.

Maximum Number of Stories: 3

Garage Orientation: Alley; min. 2 spaces

Minimum Front Yard Setback: 3'

Minimum Interior Side Yard Setback: 5' (except for Zero Lot Line Types where 7.5' min. side setback is ~~required~~ allowed on one side and 0' on the other)

Minimum Corner Side Yard Setback: 15' Back of curb

Minimum Rear Yard Setback: 5'

Maximum Lot Coverage: 80%

Minimum Dwelling Unit Size: 1,200 SF min.

### EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building may be reduced to ~~5'~~ 3' (with the Town Architect's approval) when greater setback would be otherwise required.\*

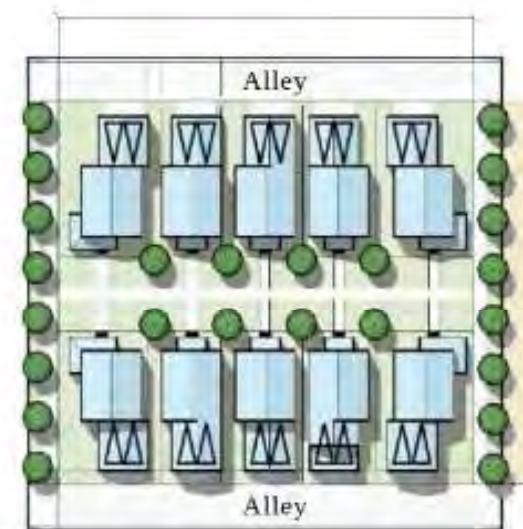
### ALLOWED ENCROACHMENTS INTO SETBACK\*:

1. Porches: up to 7' into front setback and 3' into corner side yard setback but in no event into the Public Sidewalk, Drainage, Utility, and City Construction Easement (PDUCE), private utility easement, or any public easement.
2. Box windows and fireplaces that do not extend to the foundation (up to 2' into all setbacks).
3. Balconies, awnings, and overhanging eaves (up to 2' into all setbacks).
4. Bay windows and fireplaces that extend to the foundation (up to 4' into front and corner side yard setbacks).
5. Stoops and stairs (up to 5' into front and rear setbacks).
6. Foundation encroachments of 4" to 6" on all setbacks are allowed for architectural details such as brick ledges.

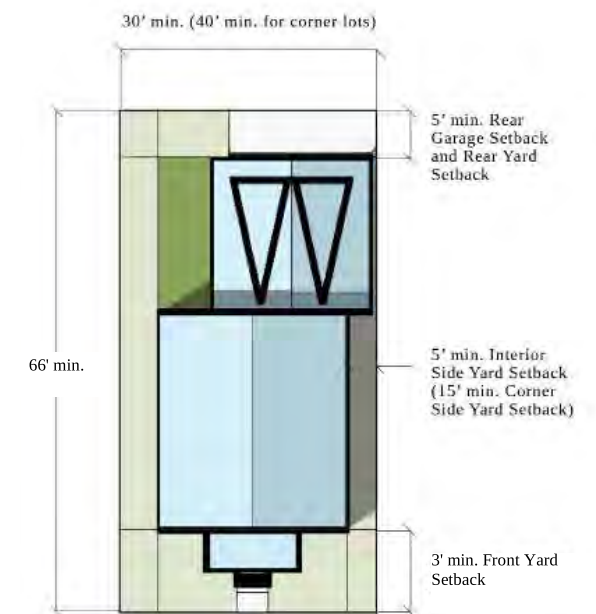
*\*Subject to fire rating requirements of City of Crowley*



View and Plan: Green Court Homes



*Illustrations may not accurately reflect all lot variations. Please see text for specific requirements*



Plan: Individual Green Court Homes

*\*Rear setback may be reduced with additional off street parking*

# 7 | VILLA HOMESITES: ALLEY ENTRY, ATTACHED GARAGE, DETACHED HOME, MEWS

## HOUSING TYPE ELEMENTS:

Lot Area: 1,980 SF min.

Lot Width: 33' min.

Lot Depth: 66'

Maximum Number of Stories: 3

Garage Orientation: Alley

Min. Front Yard Setback: 3' Back of curb

Minimum Interior Side Yard Setback: 5'

Minimum Corner Side Yard Setback: 15' Back of curb

Minimum Rear Yard Setback: 5'

Minimum Dwelling Unit Size: 1,200 SF

## EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building may be reduced to 3' (with the Town Architect's approval) when greater setback would be otherwise required.\*

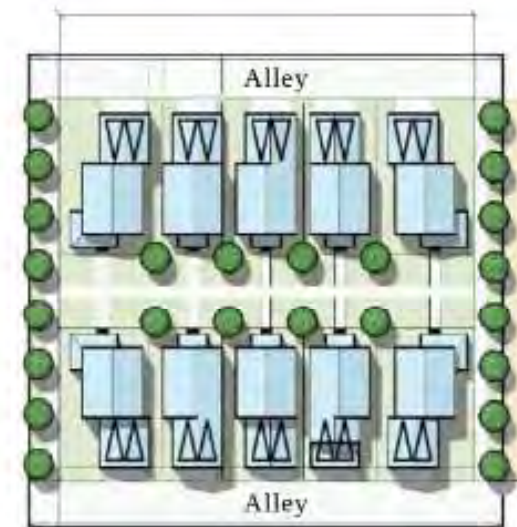
## ALLOWED ENCROACHMENTS INTO SETBACK\*:

1. Porches: up to 7' into front setback and 3' into corner side yard setback but in no event into the Public Sidewalk, Drainage, Utility, and City Construction Easement (PDUCE), private utility easement, or any public easement.
2. Box windows and fireplaces that do not extend to the foundation (up to 2' into all setbacks).
3. Balconies, awnings, and overhanging eaves (up to 2' into all setbacks).
4. Bay windows and fireplaces that extend to the foundation (up to 4' into front and corner side yard setbacks).
5. Stoops and stairs (up to 5' into front and rear setbacks).
6. Foundation encroachments of 4" to 6" on all setbacks are allowed for architectural details such as brick ledges.

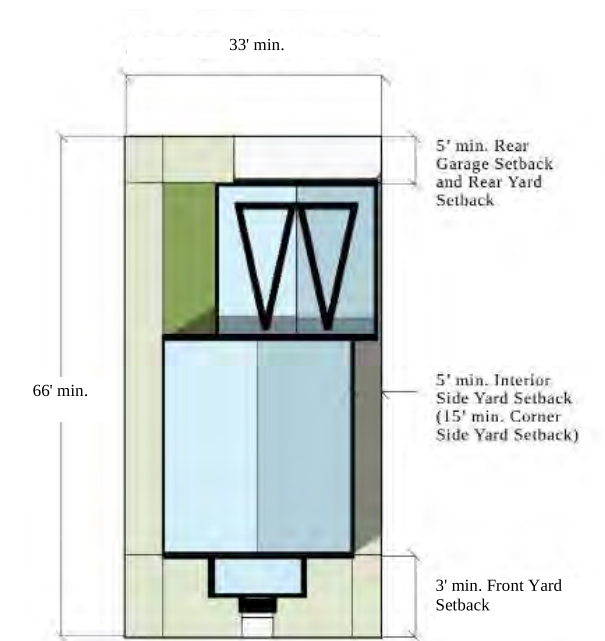
*\*Subject to additional fire rating requirements of City of Crowley*



View and Plan: Villa Home Sites



*Illustrations may not accurately reflect all lot variations. Please see text for specific requirements*



Plan: Individual Villa Home Site

# 8 | VILLA HOMESITES: ALLEY ENTRY, ATTACHED GARAGE, DETACHED HOME

## HOUSING TYPE ELEMENTS:

Lot Area: 1,980 SF min.

Lot Width: 33' min.

Lot Depth: 66'

Maximum Number of Stories: 3

Garage Orientation: Alley

Min. ~~Max.~~ Front Yard Setback: ~~13'~~ 20' Back of curb

Minimum Interior Side Yard Setback: 5'

Minimum Corner Side Yard Setback: 15' Back of curb

Minimum Rear Yard Setback: 5'

Minimum Dwelling Unit Size: 1,200 SF

## EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building may be reduced to 3' (with the Town Architect's approval) when greater setback would be otherwise required.\*

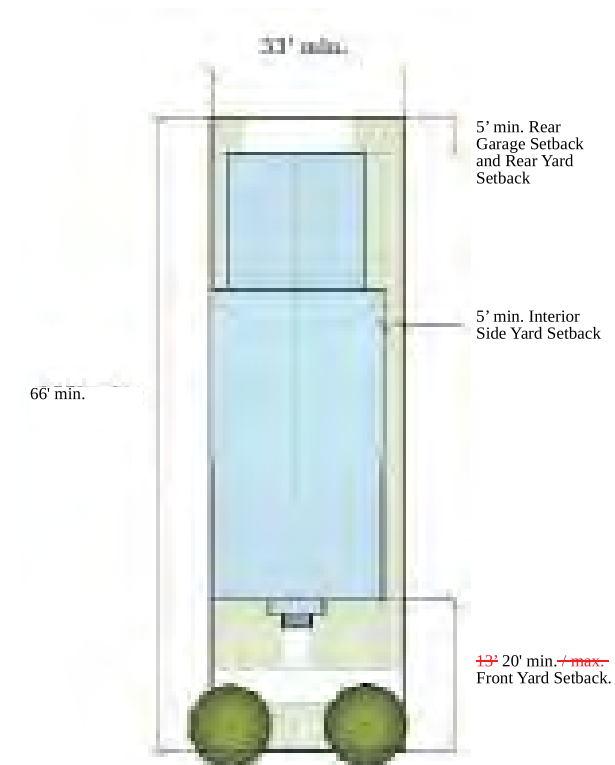
## ALLOWED ENCROACHMENTS INTO SETBACK\*:

1. Porches: up to 7' into front setback and 3' into corner side yard setback but in no event into the Public Sidewalk, Drainage, Utility, and City Construction Easement (PDUCE), private utility easement, or any public easement.
2. Box windows and fireplaces that do not extend to the foundation (up to 2' into all setbacks).
3. Balconies, awnings, and overhanging eaves (up to 2' into all setbacks).
4. Bay windows and fireplaces that extend to the foundation (up to 4' into front and corner side yard setbacks).
5. Stoops and stairs (up to 5' into front and rear setbacks).
6. Foundation encroachments of 4" to 6" on all setbacks are allowed for architectural details such as brick ledges.

\*Subject to additional fire rating requirements of City of Crowley



View and Plan: Villa Homesite



Illustrations may not accurately reflect all lot variations. Please see text for specific requirements



## 9 | 35' HOMESITES ALLEY ENTRY, ATTACHED GARAGE



The Cottage Homes appeal to individuals and families who desire single-family units with limited yard maintenance.

### HOUSING TYPE ELEMENTS:

Lot Area: 3,150 SF min.

Lot Width: 35' min.

Lot Depth: 90' min.

Maximum Number of Stories: 3

Garage Orientation: Alley; min. 2 spaces

Minimum Front Yard Setback: ~~19'~~ 20'

Minimum Interior Side Yard Setback: 5'

Minimum Corner Side Yard Setback: 15' Back of curb

Minimum Rear Yard Setback: 5'

Minimum Dwelling Unit Size; 1,250 SF

Maximum Lot Coverage: 80%

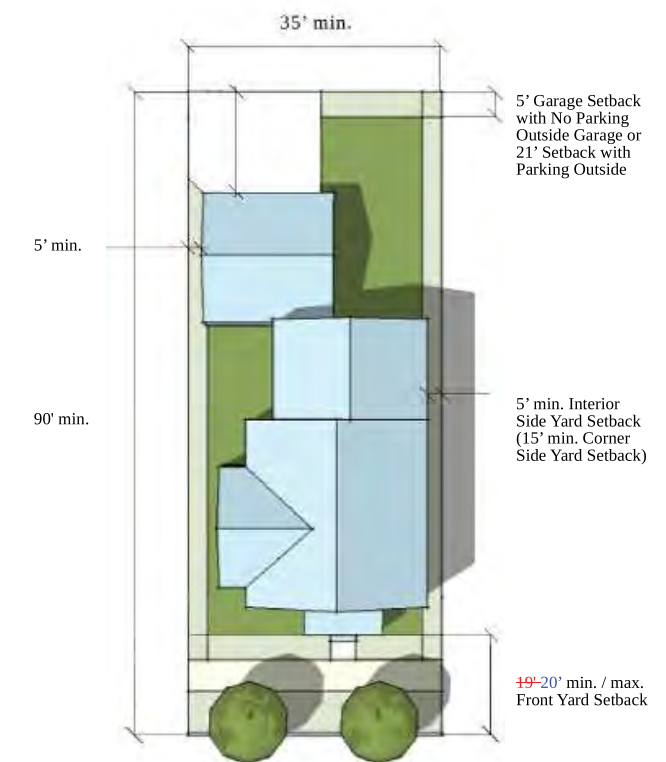
### EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to ~~detached garages or~~ accessory building may be reduced to 3' (with the Town Architect's approval) when greater setback would otherwise be required.\*

*\*Subject to additional fire rating requirements of City of Crowley*

### ALLOWED ENCROACHMENTS INTO SETBACK\*:

1. Porches: up to 7' into front setback and 3' into corner side yard setback but in no event into the Public Sidewalk, Drainage, Utility, and City Construction Easement (PDUCE), private utility easement, or any public easement.
2. Box windows and fireplaces that do not extend to the foundation (up to 2' into all setbacks).
3. Balconies, awnings, and overhanging eaves (up to 2' into all setbacks).
4. Bay windows and fireplaces that extend to the foundation (up to 4' into front and corner side yard setbacks).
5. Stoops and stairs (up to 5' into front and rear setbacks).
6. Foundation encroachments of 4" to 6" on all setbacks are allowed for architectural details such as brick ledges.



*Illustrations may not accurately reflect all lot variations. Please see text for specific requirements*



# 10 | 35' HOMESITES ALLEY ENTRY, ATTACHED GARAGE, MEWS



The Cottage Homes appeal to individuals and families who desire single-family units with limited yard maintenance.

**HOUSING TYPE ELEMENTS:**

- Lot Area: 3,150 SF min.
- Lot Width: 35' min.
- Lot Depth: 90' min.
- Maximum Number of Stories: 3
- Garage Orientation: Alley; min. 2 spaces
- Minimum Front Yard Setback: 3'
- Minimum Interior Side Yard Setback: 5'
- Minimum Corner Side Yard Setback: 15' Back of curb
- Minimum Rear Yard Setback: 5'
- Minimum Dwelling Unit Size; 1,250 SF
- Maximum Lot Coverage: 80%

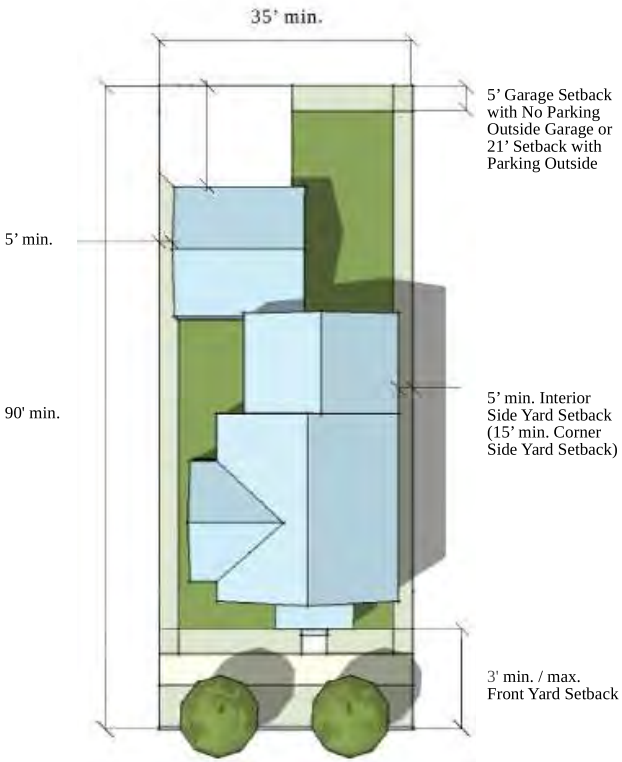
**EXCEPTIONS TO MINIMUM SETBACK:**

Minimum side setback to accessory building may be reduced to 3' (with the Town Architect's approval) when greater setback would otherwise be required.\*

*\*Subject to additional fire rating requirements of City of Crowley*

**ALLOWED ENCROACHMENTS INTO SETBACK\*:**

1. Porches: up to 7' into front setback and 3' into corner side yard setback but in no event into the Public Sidewalk, Drainage, Utility, and City Construction Easement (PDUCE), private utility easement, or any public easement.
2. Box windows and fireplaces that do not extend to the foundation (up to 2' into all setbacks).
3. Balconies, awnings, and overhanging eaves (up to 2' into all setbacks).
4. Bay windows and fireplaces that extend to the foundation (up to 4' into front and corner side yard setbacks).
5. Stoops and stairs (up to 5' into front and rear setbacks).
6. Foundation encroachments of 4" to 6" on all setbacks are allowed for architectural details such as brick ledges.



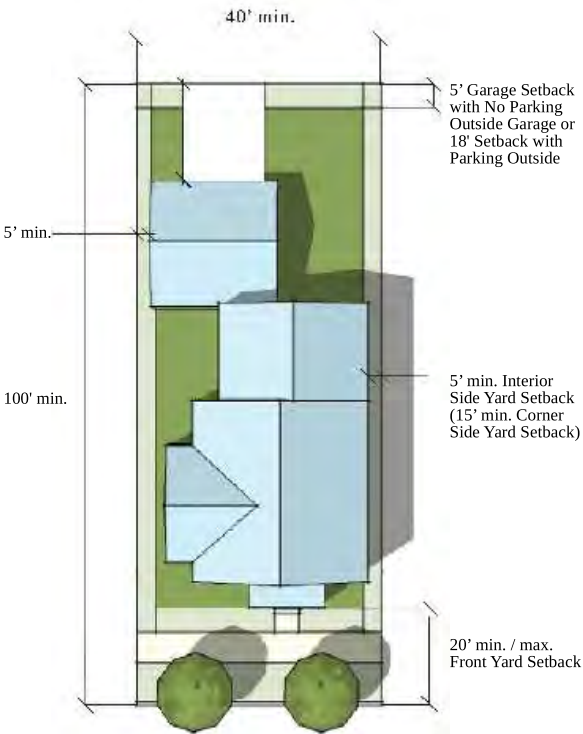
*Illustrations may not accurately reflect all lot variations. Please see text for specific requirements*



# 11| 40' HOMESITES: ALLEY ENTRY, ATTACHED GARAGE



View and Plan: Alley Drive 40' Home with Attached Garage



Illustrations may not accurately reflect all lot variations. Please see text for specific requirements

## HOUSING TYPE ELEMENTS:

- Lot Area: 4,000 SF min.
- Lot Width: 40' min.
- Lot Depth: 100' min.
- Maximum Number of Stories: 3
- Garage Orientation: Side drive; min. 2 spaces
- Minimum Front Yard Setback: 20'
- Minimum Interior Side Yard Setback: 5' (except for Zero Lot Line Types where 10' min. side setback is ~~required~~ allowed -on one side and 0' on the other)
- Minimum Corner Side Yard Setback: 15'
- Minimum Front Garage Setback for Side-Drive Lots: 18'
- Minimum Rear Yard Setback: 5'
- Minimum Dwelling Unit Size; 1,600 SF
- Maximum Lot Coverage: 80%

## EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building may be reduced to 3' (with the Town Architect's approval) when greater setback would be otherwise required.\*

*\*Subject to additional fire rating requirements of City of Crowley*

## ALLOWED ENCROACHMENTS INTO SETBACK\*:

1. Porches: up to 7' into front setback and 3' into corner side yard setback but in no event into the Public Sidewalk, Drainage, Utility, and City Construction Easement (PDUCE), private utility easement, or any public easement.
2. Box windows and fireplaces that do not extend to the foundation (up to 2' into all setbacks).
3. Balconies, awnings, and overhanging eaves (up to 2' into all setbacks).
4. Bay windows and fireplaces that extend to the foundation (up to 4' into front and corner side yard setbacks).
5. Stoops and stairs (up to 5' into front and rear setbacks).
6. Foundation encroachments of 4" to 6" on all setbacks are allowed for architectural details such as brick ledges.

# 12 | 40' HOMESITES: ALLEY ENTRY, DETACHED GARAGE

## HOUSING TYPE ELEMENTS:

Lot Area: 4,000 SF min.

Lot Width: 40' min.

Lot Depth: 100' min.

Maximum Number of Stories: 3

Garage Orientation: Side drive; min. 2 spaces

Minimum Front Yard Setback: 20'

Minimum Interior Side Yard Setback: 5' (except for Zero Lot Line Types where 10' min. side setback is required on one side and 0' on the other)

Minimum Corner Side Yard Setback: 15'

Minimum Rear Yard Setback: 5'

Minimum Dwelling Unit Size; 1,600 SF

Maximum Lot Coverage: 80%

## EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building maybe reduced to 3' (with the Town Architect's approval) when greater setback would be otherwise required.\*

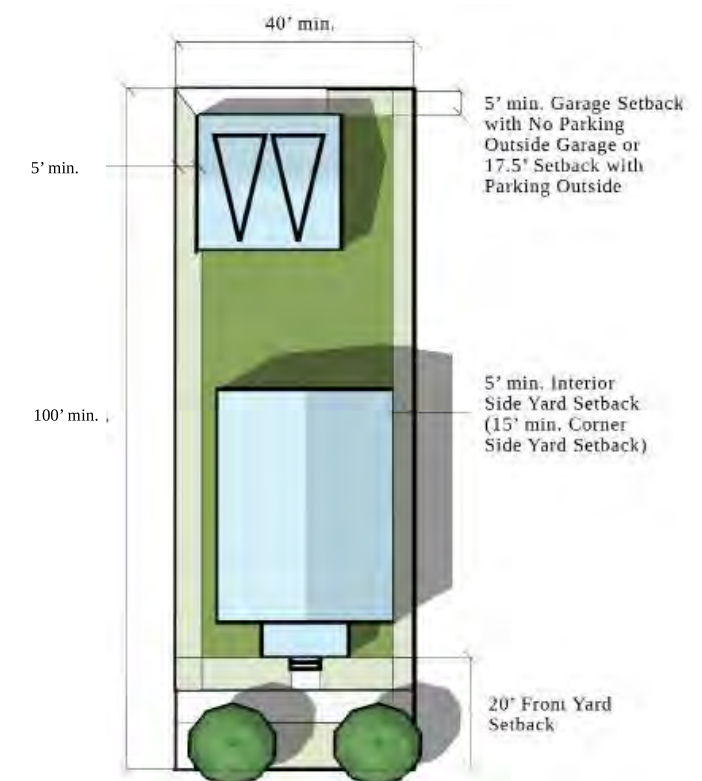
## ALLOWED ENCROACHMENTS INTO SETBACK\*:

1. Porches: up to 7' into front setback and 3' into corner side yard setback but in no event into the Public Sidewalk, Drainage, Utility, and City Construction Easement (PDUCE), private utility easement, or any public easement.
2. Box windows and fireplaces that do not extend to the foundation (up to 2' into all setbacks).
3. Balconies, awnings, and overhanging eaves (up to 2' into all setbacks).
4. Bay windows and fireplaces that extend to the foundation (up to 4' into front and corner side yard setbacks).
5. Stoops and stairs (up to 5' into front and rear setbacks).
6. Foundation encroachments of 4" to 6" on all setbacks are allowed for architectural details such as brick ledges.

\*Subject to additional fire rating requirements of City of Crowley



View and Plan: Alley Drive 40' Home with Detached Garage



Illustrations may not accurately reflect all lot variations. Please see text for specific requirements

# 13 | ZERO CENTER PLOTTED HOMESITES: 40' ALLEY ENTRY, ~~NO STREET~~ MEWS

## HOUSING TYPE ELEMENTS:

Lot Area: 4,000 SF min.

Lot Width: 40' min.

Lot Depth: 100' min.

Maximum Number of Stories: 3

Garage Orientation: Alley; min. 2 spaces

Minimum Front Yard Setback: ~~20'~~ 3'

Minimum Interior Side Yard Setback: 5' min. side setback is ~~required~~ **allowed** on one side and 3.5' on the other

Minimum Corner Side Yard Setback: 15'

Minimum Rear Yard Setback: 5'

Maximum Lot Coverage: 80%

Minimum Dwelling Unit Size: 1,600 SF

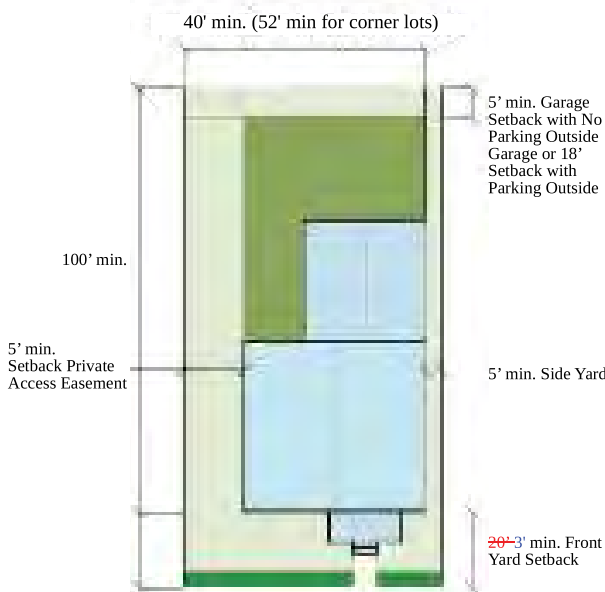
## EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building may be reduced to ~~5'~~ 3' (with the Town Architect's approval) when greater setback would be otherwise required.\*

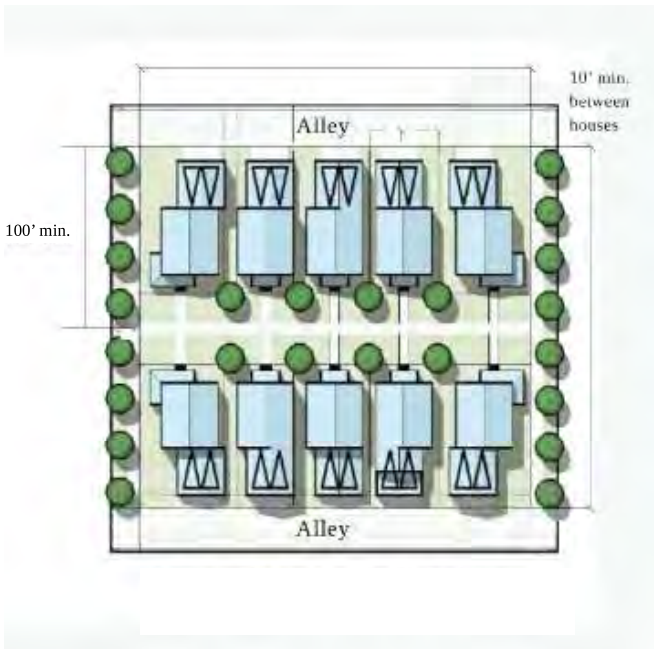
## ALLOWED ENCROACHMENTS INTO SETBACK\*:

1. Porches: up to 7' into front setback and 3' into corner side yard setback but in no event into the Public Sidewalk, Drainage, Utility, and City Construction Easement (PDUCE), private utility easement, or any public easement.
2. Box windows and fireplaces that do not extend to the foundation (up to 2' into all setbacks).
3. Balconies, awnings, and overhanging eaves (up to 2' into all setbacks).
4. Bay windows and fireplaces that extend to the foundation (up to 4' into front and corner side yard setbacks).
5. Stoops and stairs (up to 5' into front and rear setbacks).
6. Foundation encroachments of 4" to 6" on all setbacks are allowed for architectural details such as brick ledges.

\*Subject to additional fire rating requirements of City of Crowley



Plan: Individual Zero Lot Line Home



View and Plan: Zero Lot Line Homes

*Illustrations may not accurately reflect all lot variations. Please see text for specific requirements*



# 14 | ZERO CENTER PLOTTED HOMESITES: 45' ALLEY ENTRY, ~~NO STREET~~ MEWS

## HOUSING TYPE ELEMENTS:

Lot Area: 4,500 SF min.

Lot Width: 45' min.

Lot Depth: 100' min.

Maximum Number of Stories: 3

Garage Orientation: Alley; min. 2 spaces

Minimum Front Yard Setback: 3'

Minimum Interior Side Yard Setback: 5' min. side setback

Minimum Corner Side Yard Setback: 15' Back of curb

Minimum Rear Yard Setback: 5'

Maximum Lot Coverage: 80%

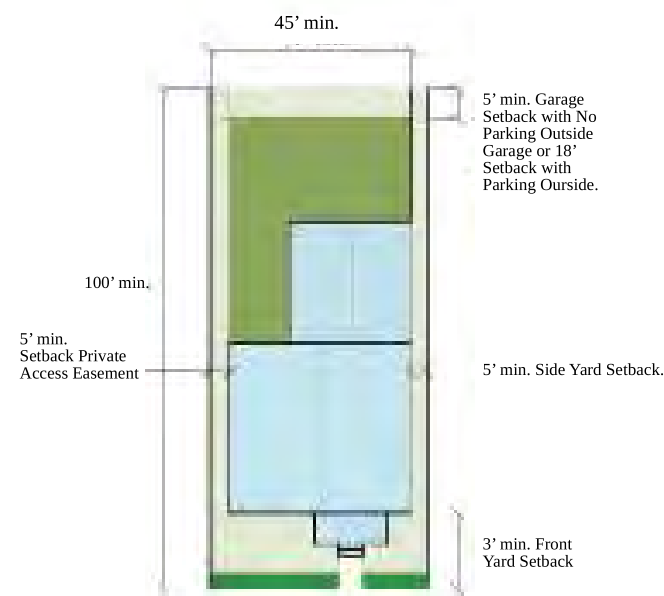
## EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building may be reduced to ~~5'~~ 3' (with the Town Architect's approval) when greater setback would be otherwise required.\*

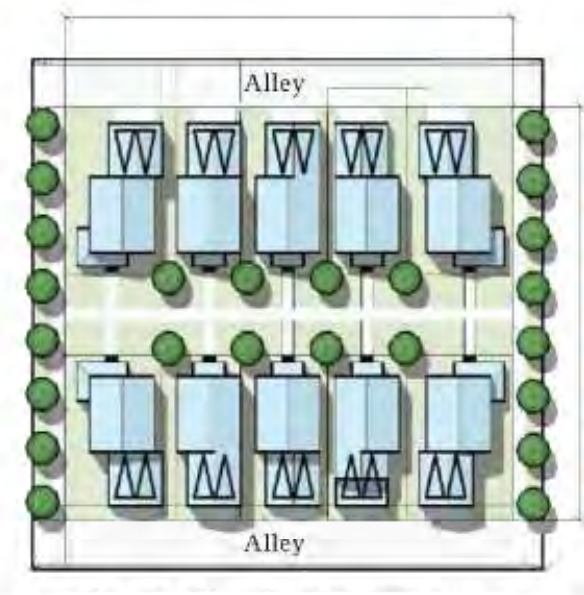
## ALLOWED ENCROACHMENTS INTO SETBACK\*:

1. Porches: up to 7' into front setback and 3' into corner side yard setback but in no event into the Public Sidewalk, Drainage, Utility, and City Construction Easement (PDUCE), private utility easement, or any public easement.
2. Box windows and fireplaces that do not extend to the foundation (up to 2' into all setbacks).
3. Balconies, awnings, and overhanging eaves (up to 2' into all setbacks).
4. Bay windows and fireplaces that extend to the foundation (up to 4' into front and corner side yard setbacks).
5. Stoops and stairs (up to 5' into front and rear setbacks).
6. Foundation encroachments of 4" to 6" on all setbacks are allowed for architectural details such as brick ledges.

\*Subject to additional fire rating requirements of City of Crowley



Plan: Individual Zero Lot Line Home



View and Plan: Zero Lot Line Homes

Illustrations may not accurately reflect all lot variations. Please see text for specific requirements

# 15 | ZERO LOT LINE HOMESITES: 45' ALLEY ENTRY, ATTACHED GARAGE

## HOUSING TYPE ELEMENTS:

Lot Area: 4,500 SF min.

Lot Width: 45' min.

Lot Depth: 100' min.

Maximum Number of Stories: 3

Garage Orientation: Alley; min. 2 spaces

Minimum Front Yard Setback: ~~13'~~ 20'

Minimum Interior Side Yard Setback: 5'

Minimum Corner Side Yard Setback: 15' Back of curb

Minimum Rear Yard Setback: 5'

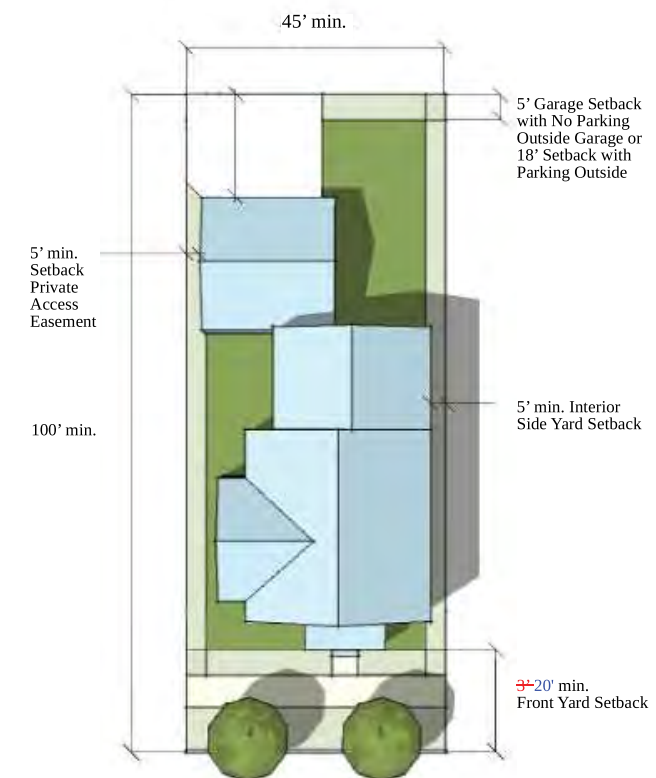
Maximum Lot Coverage: 80%

## EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to ~~detached garages or~~ accessory building may be reduced to 3' (with the Town Architect's approval) when greater setback would otherwise be required.\*

## ALLOWED ENCROACHMENTS INTO SETBACK\*:

1. Porches: up to 7' into front setback and 3' into corner side yard setback but in no event into the Public Sidewalk, Drainage, Utility, and City Construction Easement (PDUCE), private utility easement, or any public easement.
2. Box windows and fireplaces that do not extend to the foundation (up to 2' into all setbacks).
3. Balconies, awnings, and overhanging eaves (up to 2' into all setbacks).
4. Bay windows and fireplaces that extend to the foundation (up to 4' into front and corner side yard setbacks).
5. Stoops and stairs (up to 5' into front and rear setbacks).
6. Foundation encroachments of 4" to 6" on all setbacks are allowed for architectural details such as brick ledges.



*Illustrations may not accurately reflect all lot variations. Please see text for specific requirements*

*\*Subject to additional fire rating requirements of City of Crowley*



# 16A | 50' HOMESITES: ALLEY ENTRY, ATTACHED GARAGE



Executive Homes are the most commonly used traditional lot types. These offer a moderately sized back yard.

## HOUSING TYPE ELEMENTS:

Lot Area: 5,000 SF min.

Lot Width: 50' min.

Lot Depth: 100' min.

Maximum Number of Stories: 3

Garage Orientation: Alley; min. 2 spaces

Minimum Front Yard Setback: ~~15'~~ 20'

Minimum Interior Side Yard Setback: 5' (except for Zero Lot Line Types where 10' min. side setback is required on one side and 0' on the other)

Minimum Corner Side Yard Setback: 15' Back of curb

Minimum Rear Yard Setback: 5'

Minimum Dwelling Unit Size; 2,000 SF

Maximum Lot Coverage: 80%

## EXCEPTIONS TO MINIMUM SETBACK:

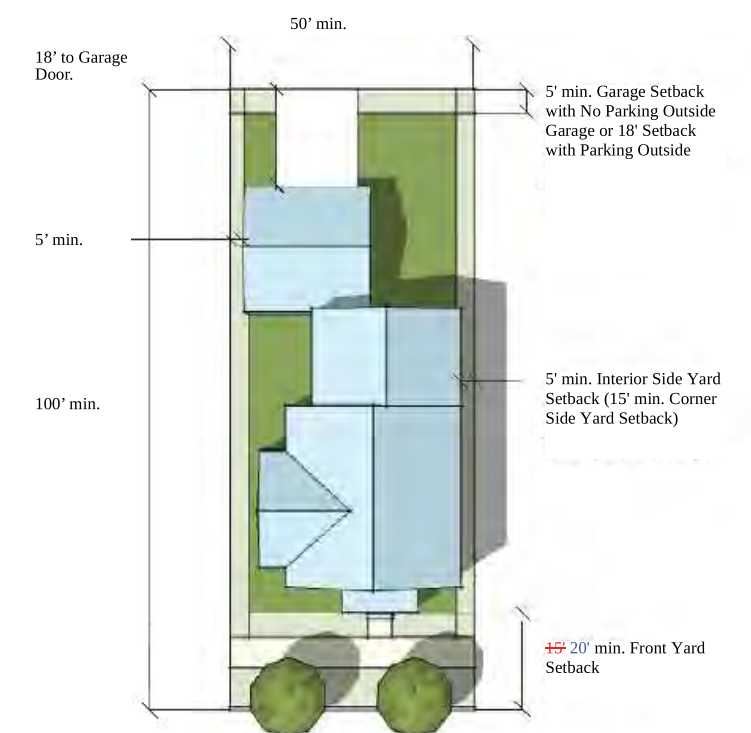
Minimum side setback to ~~detached garages or~~ accessory building may be reduced to ~~5'~~ 3' (with the Town Architect's approval) when greater setback would otherwise be required.\*

## ALLOWED ENCROACHMENTS INTO SETBACK\*:

1. Porches: up to 7' into front setback and 3' into corner side yard setback but in no event into the Public Sidewalk, Drainage, Utility, and City Construction Easement (PDUCE), private utility easement, or any public easement.
2. Box windows and fireplaces that do not extend to the foundation (up to 2' into all setbacks).
3. Balconies, awnings, and overhanging eaves (up to 2' into all setbacks).
4. Bay windows and fireplaces that extend to the foundation (up to 4' into front and corner side yard setbacks).
5. Stoops and stairs (up to 5' into front and rear setbacks).
6. Foundation encroachments of 4" to 6" on all setbacks are allowed for architectural details such as brick ledges.



View and Plan: Alley Loaded Executive Home with Attached Garage



Illustrations may not accurately reflect all lot variations. Please see text for specific requirements

\*Subject to additional fire rating requirements of City of Crowley

# 16B | 50' HOMESITES: FRONT ENTRY, SIDE DRIVE

## HOUSING TYPE ELEMENTS:

- Lot Area: 5,000 SF min.
- Lot Width: 50' min.
- Lot Depth: 100' min.
- Maximum Number of Stories: 3
- Garage Orientation: Side drive; min. 2 spaces
- Minimum Front Yard Setback: ~~15'~~ 20' Back of curb
- Minimum Interior Side Yard Setback: 5'
- Minimum Corner Side Yard Setback: 15' Back of curb
- Minimum Front Garage Setback for Side-Drive Lots: 18' Back of curb
- Minimum Rear Yard Setback: 5'
- Minimum Dwelling Unit Size; 2,000 SF
- Maximum Lot Coverage: 80%

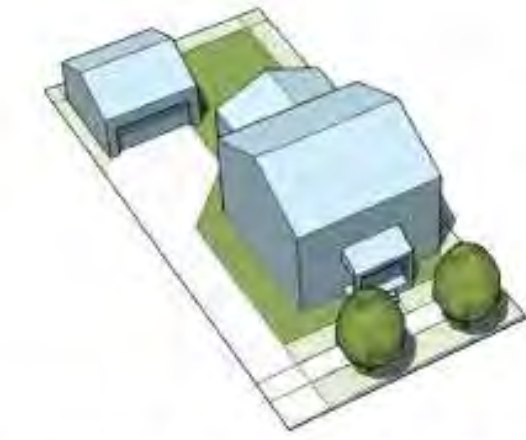
## EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building may be reduced to ~~5'~~ 3' (with the Town Architect's approval) when greater setback would be otherwise required.\*

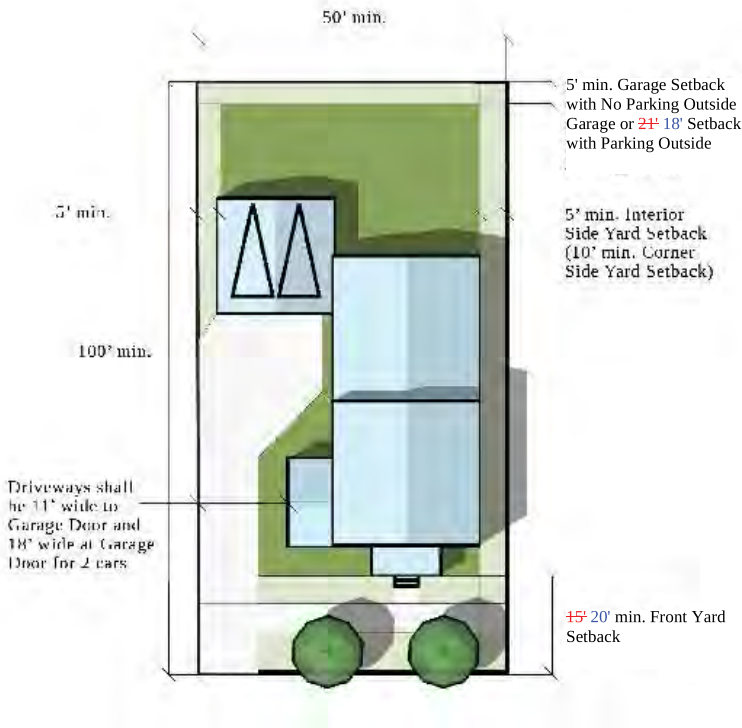
## ALLOWED ENCROACHMENTS INTO SETBACK\*:

1. Porches: up to 7' into front setback and 3' into corner side yard setback but in no event into the Public Sidewalk, Drainage, Utility, and City Construction Easement (PDUCE), private utility easement, or any public easement.
2. Box windows and fireplaces that do not extend to the foundation (up to 2' into all setbacks).
3. Balconies, awnings, and overhanging eaves (up to 2' into all setbacks).
4. Bay windows and fireplaces that extend to the foundation (up to 4' into front and corner side yard setbacks).
5. Stoops and stairs (up to 5' into front and rear setbacks).
6. Foundation encroachments of 4" to 6" on all setbacks are allowed for architectural details such as brick ledges.

*\*Subject to additional fire rating requirements of City of Crowley*



View and Plan: Side Drive Executive Home with Detached Garage



# 16C | 50' HOMESITES: FRONT ENTRY, FRONT DRIVE

## HOUSING TYPE ELEMENTS:

Lot Area: 5,000 SF

Lot Width: 50' min.

Lot Depth: 100' min.

Maximum Number of Stories: 3

Garage Orientation: Alley; min. 2 spaces; 3 allowed

Minimum Front Yard Setback: ~~15'~~ 20' Back of curb

Interior Side Yard Setback: 5'

Minimum Corner Side Yard Setback: 15' Back of curb

Minimum Rear Yard Setback: 5'

Minimum Dwelling Unit Size; 2,000 SF

Maximum Lot Coverage: 80%

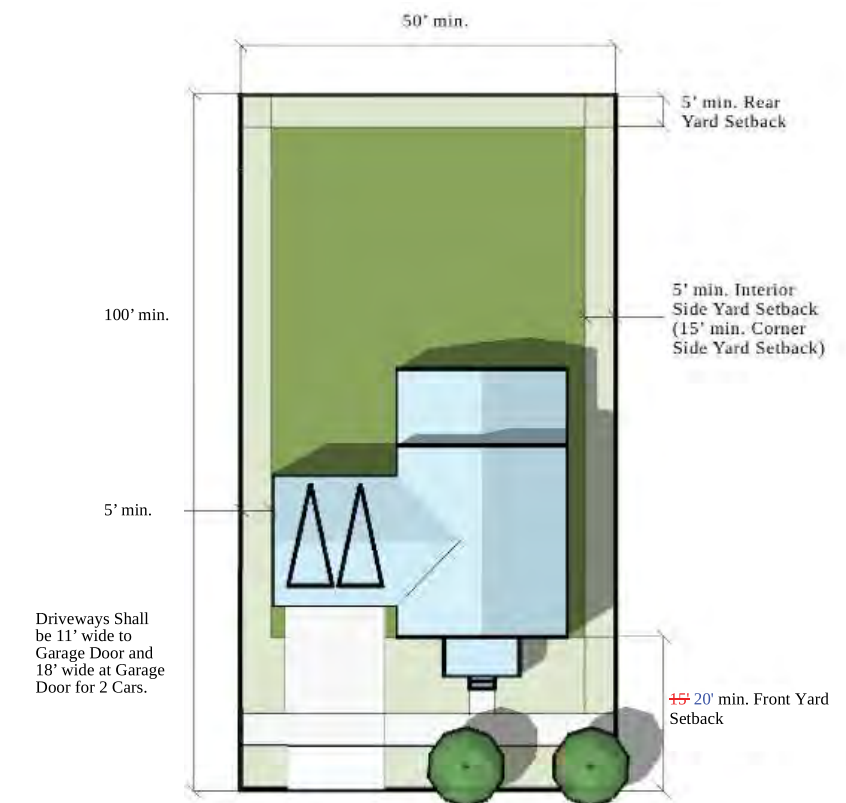
## EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to accessory building may be reduced to 3' (with the Town Architect's approval) when greater setback would be otherwise required.\*

## ALLOWED ENCROACHMENTS INTO SETBACK\*:

1. Porches: up to 7' into front setback and 3' into corner side yard setback but in no event into the Public Sidewalk, Drainage, Utility, and City Construction Easement (PDUCE), private utility easement, or any public easement.
2. Box windows and fireplaces that do not extend to the foundation (up to 2' into all setbacks).
3. Balconies, awnings, and overhanging eaves (up to 2' into all setbacks).
4. Bay windows and fireplaces that extend to the foundation (up to 4' into front and corner side yard setbacks).
5. Stoops and stairs (up to 5' into front and rear setbacks).
6. Foundation encroachments of 4" to 6" on all setbacks are allowed for architectural details such as brick ledges.

*\*Subject to additional fire rating requirements of City of Crowley*



*Illustrations may not accurately reflect all lot variations. Please see text for specific requirements*



# 17 | 50' HOMESITES: ALLEY ENTRY, DETACHED GARAGE

## HOUSING TYPE ELEMENTS:

Lot Area: 5,000 SF min.

Lot Width: 50' min.

Lot Depth: 100' min.

Maximum Number of Stories: 3

Garage Orientation: Alley; min. 2 spaces

Minimum Front Yard Setback: ~~15'~~ 20' Back of curb

Minimum Interior Side Yard Setback: 5' (except for Zero Lot Line Types where 10' min. side setback is required on one side and 0' on the other)

Minimum Corner Side Yard Setback: 15'

Minimum Rear Yard Setback: 5'

Minimum Dwelling Unit Size; 2,000 SF

Maximum Lot Coverage: 80%

## EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building may be reduced to ~~5'~~ 3' (with the Town Architect's approval) when greater setback would otherwise be required.\*

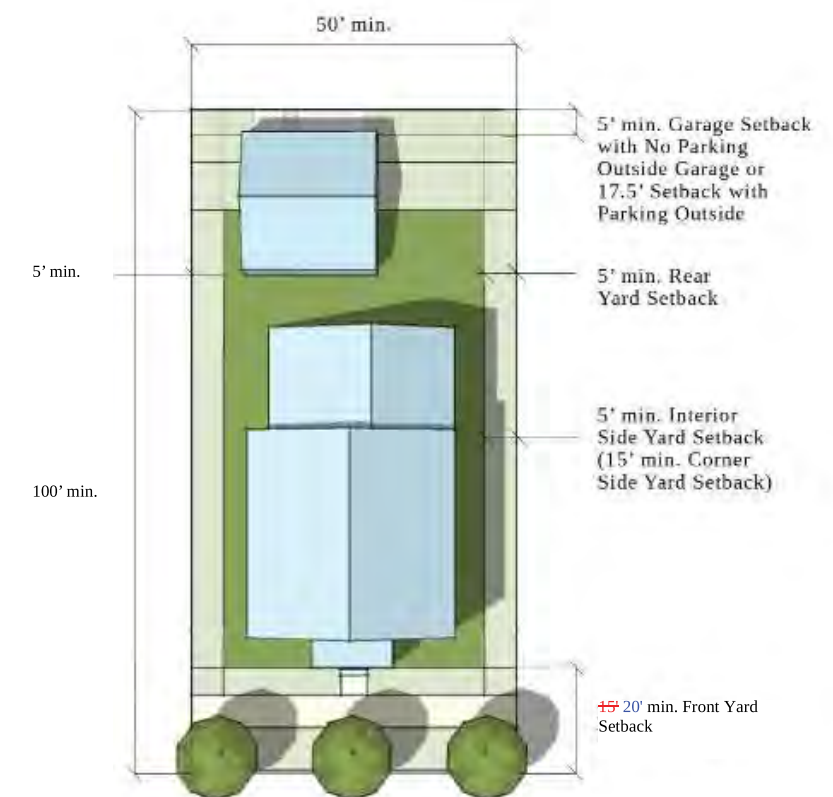
## ALLOWED ENCROACHMENTS INTO SETBACK\*:

1. Porches: up to 7' into front setback and 3' into corner side yard setback but in no event into the Public Sidewalk, Drainage, Utility, and City Construction Easement (PDUCE), private utility easement, or any public easement.
2. Box windows and fireplaces that do not extend to the foundation (up to 2' into all setbacks).
3. Balconies, awnings, and overhanging eaves (up to 2' into all setbacks).
4. Bay windows and fireplaces that extend to the foundation (up to 4' into front and corner side yard setbacks).
5. Stoops and stairs (up to 5' into front and rear setbacks).
6. Foundation encroachments of 4" to 6" on all setbacks are allowed for architectural details such as brick ledges.

*\*Subject to additional fire rating requirements of City of Crowley*



View and Plan: Alley Loaded 50' Home with Detached Garage



*Illustrations may not accurately reflect all lot variations. Please see text for specific requirements*

# 18 | 50' HOMESITES: ALLEY ENTRY, ATTACHED GARAGE, MEWS



Executive Homes are the most commonly used traditional lot types. These offer a moderately sized back yard.

## HOUSING TYPE ELEMENTS:

Lot Area: 5,000 SF min.

Lot Width: 50' min.

Lot Depth: 100' min.

Maximum Number of Stories: 3

Garage Orientation: Alley; min. 2 spaces

Minimum Front Yard Setback: 3'

Minimum Interior Side Yard Setback: 5' (except for Zero Lot Line Types where 10' min. side setback is required on one side and 0' on the other)

Minimum Corner Side Yard Setback: 15' Back of curb

Minimum Rear Yard Setback: 5'

Minimum Dwelling Unit Size; 2,000 SF

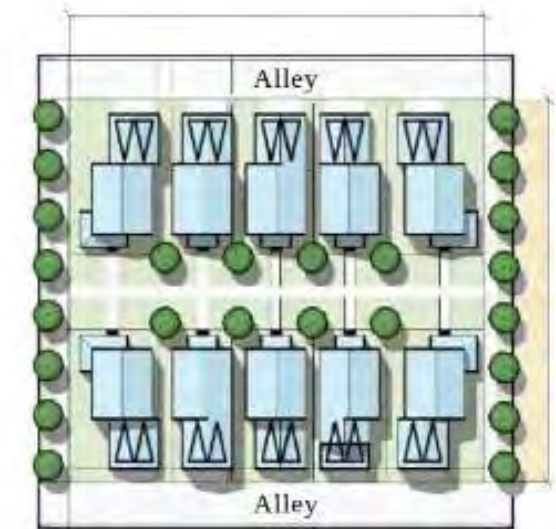
Maximum Lot Coverage: 80%

## EXCEPTIONS TO MINIMUM SETBACK:

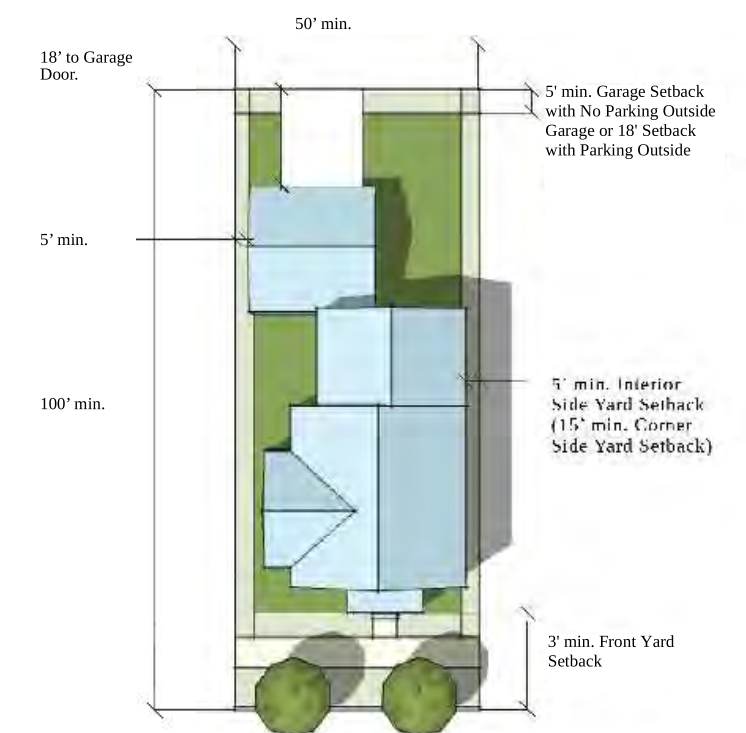
Minimum side setback to accessory building may be reduced to 3' (with the Town Architect's approval) when greater setback would otherwise be required.\*

## ALLOWED ENCROACHMENTS INTO SETBACK\*:

1. Porches: up to 7' into front setback and 3' into corner side yard setback but in no event into the Public Sidewalk, Drainage, Utility, and City Construction Easement (PDUCE), private utility easement, or any public easement.
2. Box windows and fireplaces that do not extend to the foundation (up to 2' into all setbacks).
3. Balconies, awnings, and overhanging eaves (up to 2' into all setbacks).
4. Bay windows and fireplaces that extend to the foundation (up to 4' into front and corner side yard setbacks).
5. Stoops and stairs (up to 5' into front and rear setbacks).
6. Foundation encroachments of 4" to 6" on all setbacks are allowed for architectural details such as brick ledges.



View and Plan: Alley Loaded 50' Homes with Attached Garage



Illustrations may not accurately reflect all lot variations. Please see text for specific requirements

\*Subject to additional fire rating requirements of City of Crowley

# 19A | 55' HOMESITES: CENTER PLOTTED, FRONT ENTRY

## HOUSING TYPE ELEMENTS:

- Lot Area: 5,500 SF min.
- Lot Width: 55' min.
- Lot Depth: 100' min.
- Maximum Number of Stories: 3
- Garage Orientation: ~~Side drive~~; Front Drive, min. 2 spaces
- Garage Doors: Individual garage Doors Required
- Minimum Front Yard Setback: 20'
- Minimum Interior Side Yard Setback: 10' min. side setback is ~~required~~ **allowed** on one side and 0' on the other
- Minimum Corner Side Yard Setback: 15' Back of curb
- Minimum Rear Yard Setback: 5'
- Minimum Dwelling Unit Size; 2,500 SF
- Maximum Lot Coverage: 75%

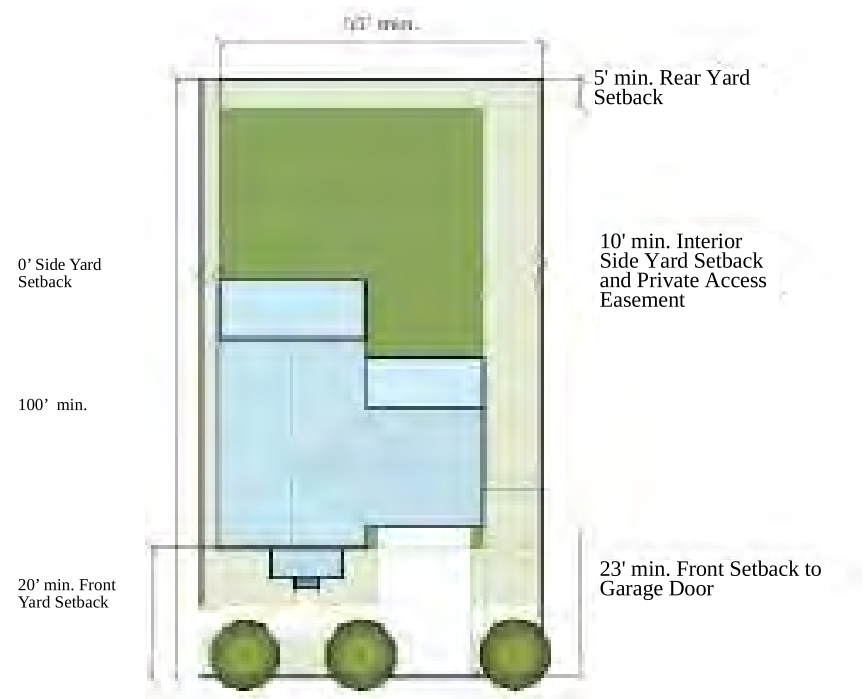
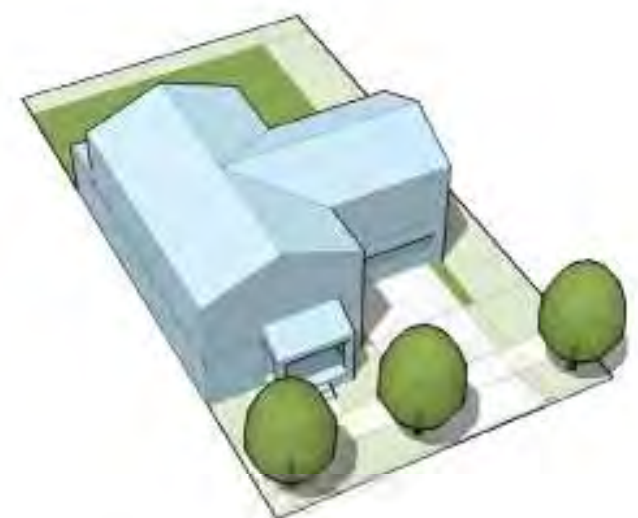
## EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building may be reduced to ~~5'~~ 3' (with the Town Architect's approval) when greater setback would be otherwise required.\*

## ALLOWED ENCROACHMENTS INTO SETBACK\*:

1. Porches: up to 7' into front setback and 3' into corner side yard setback but in no event into the Public Sidewalk, Drainage, Utility, and City Construction Easement (PDUCE), private utility easement, or any public easement.
2. Box windows and fireplaces that do not extend to the foundation (up to 2' into all setbacks).
3. Balconies, awnings, and overhanging eaves (up to 2' into all setbacks).
4. Bay windows and fireplaces that extend to the foundation (up to 4' into front and corner side yard setbacks).
5. Stoops and stairs (up to 5' into front and rear setbacks).
6. Foundation encroachments of 4" to 6" on all setbacks are allowed for architectural details such as brick ledges.

*\*Subject to additional fire rating requirements of City of Crowley*



*Illustrations may not accurately reflect all lot variations. Please see text for specific requirements*



# 19B | 55' HOMESITES: FRONT ENTRY, FRONT DRIVE

## HOUSING TYPE ELEMENTS:

Lot Area: 5,500 SF min.

Lot Width: 55' min.

Lot Depth: 100' min.

Maximum Number of Stories: 3

Garage Orientation: ~~Side drive~~; Front Drive, min. 2 spaces

Minimum Front Yard Setback: 20' Back of curb

Minimum Interior Side Yard Setback: 5'

Minimum Corner Side Yard Setback: 15' Back of curb

Minimum Rear Yard Setback: 5'

Minimum Dwelling Unit Size; 2,500 SF

Maximum Lot Coverage: 75%

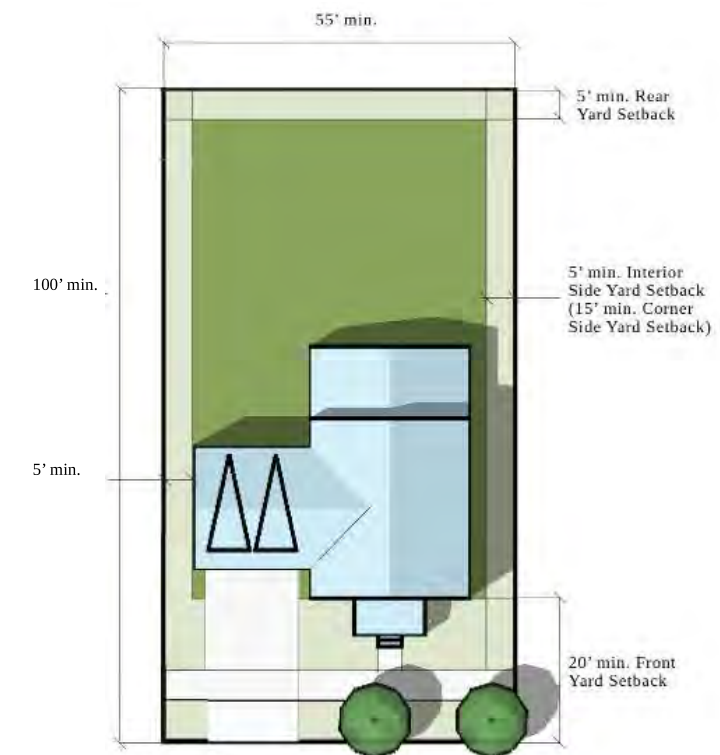
## EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building may be reduced to 3' (with the Town Architect's approval) when greater setback would be otherwise required.\*

## ALLOWED ENCROACHMENTS INTO SETBACK\*:

1. Porches: up to 7' into front setback and 3' into corner side yard setback but in no event into the Public Sidewalk, Drainage, Utility, and City Construction Easement (PDUCE), private utility easement, or any public easement.
2. Box windows and fireplaces that do not extend to the foundation (up to 2' into all setbacks).
3. Balconies, awnings, and overhanging eaves (up to 2' into all setbacks).
4. Bay windows and fireplaces that extend to the foundation (up to 4' into front and corner side yard setbacks).
5. Stoops and stairs (up to 5' into front and rear setbacks).
6. Foundation encroachments of 4" to 6" on all setbacks are allowed for architectural details such as brick ledges.

*\*Subject to additional fire rating requirements of City of Crowley*



*Illustrations may not accurately reflect all lot variations. Please see text for specific requirements*

# 19C | 55' HOMESITES: FRONT ENTRY, SIDE DRIVE

## HOUSING TYPE ELEMENTS:

Lot Area: 5,500 SF min.

Lot Width: 55' min.

Lot Depth: 100' min.

Maximum Number of Stories: 3

Garage Orientation: Side drive; min. 2 spaces

Minimum Front Yard Setback: 20' Back of curb

Minimum Interior Side Yard Setback: 5'

Minimum Corner Side Yard Setback: 15' Back of curb

Minimum Front Garage Setback for Side-Drive Lots: 18' Back of curb

Minimum Rear Yard Setback: 5'

Minimum Dwelling Unit Size; 2,500 SF

Maximum Lot Coverage: 75%

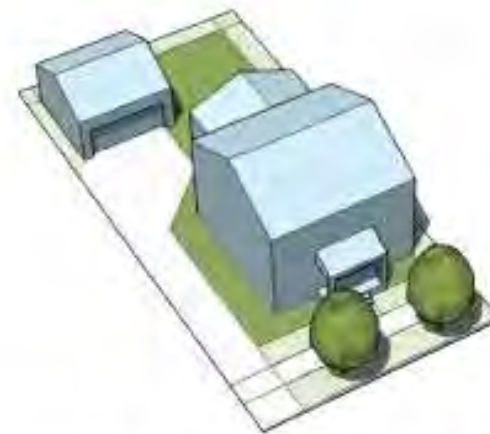
## EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building may be reduced to 3' (with the Town Architect's approval) when greater setback would be otherwise required.\*

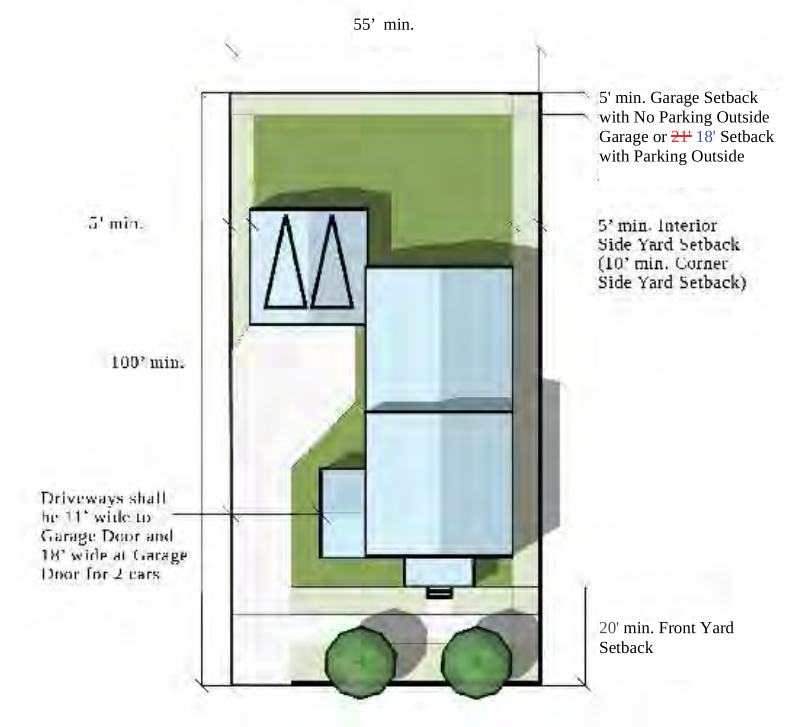
## ALLOWED ENCROACHMENTS INTO SETBACK\*:

1. Porches: up to 7' into front setback and 3' into corner side yard setback but in no event into the Public Sidewalk, Drainage, Utility, and City Construction Easement (PDUCE), private utility easement, or any public easement.
2. Box windows and fireplaces that do not extend to the foundation (up to 2' into all setbacks).
3. Balconies, awnings, and overhanging eaves (up to 2' into all setbacks).
4. Bay windows and fireplaces that extend to the foundation (up to 4' into front and corner side yard setbacks).
5. Stoops and stairs (up to 5' into front and rear setbacks).
6. Foundation encroachments of 4" to 6" on all setbacks are allowed for architectural details such as brick ledges.

*\*Subject to additional fire rating requirements of City of Crowley*



View and Plan: Side Drive 55' Home with Detached Garage



# 20A | ~~65'~~ 60' HOMESITES: ALLEY ENTRY, ATTACHED OR DETACHED GARAGE



## HOUSING TYPE ELEMENTS:

Lot Area: ~~6,500~~ 6,000 SF min.

Lot Width: ~~65'~~ 60' min.

Lot Depth: 100' min.

Maximum Number of Stories: 3

Garage Orientation: Alley; min. 2 spaces; 3 allowed

Minimum Front Yard Setback: 20' back of curb

Interior Side Yard Setback: 5'

Minimum Corner Side Yard Setback: 15' back of curb

Minimum Rear Yard Setback: 5'

Minimum Dwelling Unit Size; 3,000 SF

Maximum Lot Coverage: 75%

## ALLOWED ENCROACHMENTS INTO SETBACK\*:

1. Porches: up to 7' into front setback and 3' into corner side yard setback but in no event into the Public Sidewalk, Drainage, Utility, and City Construction Easement (PDUCE), private utility easement, or any public easement.
2. Box windows and fireplaces that do not extend to the foundation (up to 2' into all setbacks).
3. Balconies, awnings, and overhanging eaves (up to 2' into all setbacks).
4. Bay windows and fireplaces that extend to the foundation (up to 4' into front and corner side yard setbacks).
5. Stoops and stairs (up to 5' into front and rear setbacks).
6. Foundation encroachments of 4" to 6" on all setbacks are allowed for architectural details such as brick ledges.

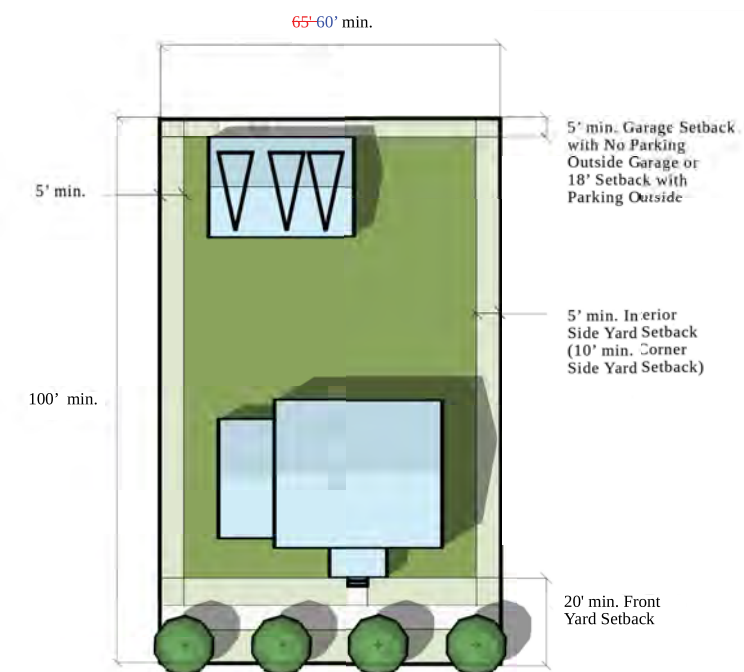
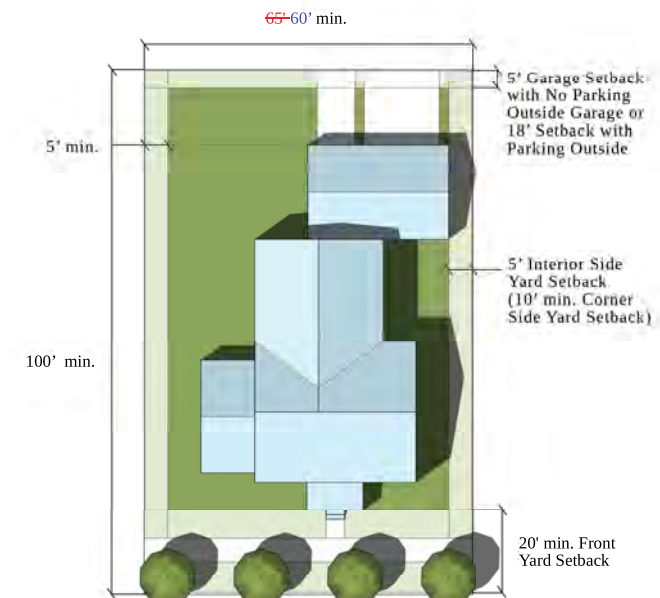
Alley



Alley



View and Plan: Alley Loaded ~~65'~~ 60' Home



Illustrations may not accurately reflect all lot variations. Please see text for specific requirements

\*Subject to additional fire rating requirements of City of Crowley



# 20B | ~~65'~~ 60' HOMESITES: FRONT ENTRY, SIDE ENTRY ATTACHED OR DETACHED GARAGE

## HOUSING TYPE ELEMENTS:

Lot Area: ~~6,500~~ 6,000 SF min.

Lot Width: ~~65'~~ 60' min.

Lot Depth: 100' min.

Maximum Number of Stories: 3

Garage Orientation: Side drive; min. 2 spaces; 3 allowed

Minimum Front Yard Setback: 20' Back of curb

Minimum Interior Side Yard Setback: 5'

Minimum Corner Side Yard Setback: 15'

Minimum Rear Yard Setback: 5'

Minimum Dwelling Unit Size; 3,000 SF

Maximum Lot Coverage: 75%

## EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building may be reduced to 3' (with the Town Architect's approval) when greater setback would be otherwise required.\*

## ALLOWED ENCROACHMENTS INTO SETBACK\*:

1. Porches: up to 7' into front setback and 3' into corner side yard setback but in no event into the Public Sidewalk, Drainage, Utility, and City Construction Easement (PDUCE), private utility easement, or any public easement.
2. Box windows and fireplaces that do not extend to the foundation (up to 2' into all setbacks).
3. Balconies, awnings, and overhanging eaves (up to 2' into all setbacks).
4. Bay windows and fireplaces that extend to the foundation (up to 4' into front and corner side yard setbacks).
5. Stoops and stairs (up to 5' into front and rear setbacks).
6. Foundation encroachments of 4" to 6" on all setbacks are allowed for architectural details such as brick ledges.

\*Subject to additional fire rating requirements of City of Crowley

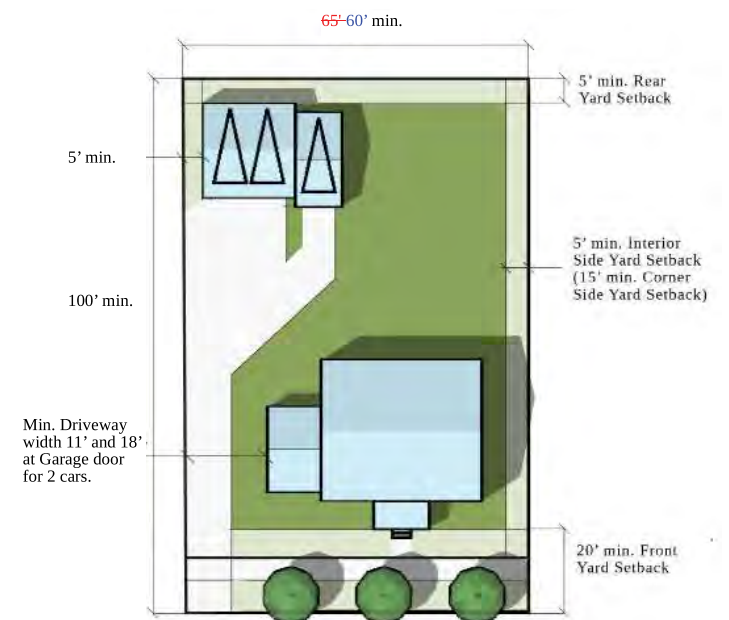
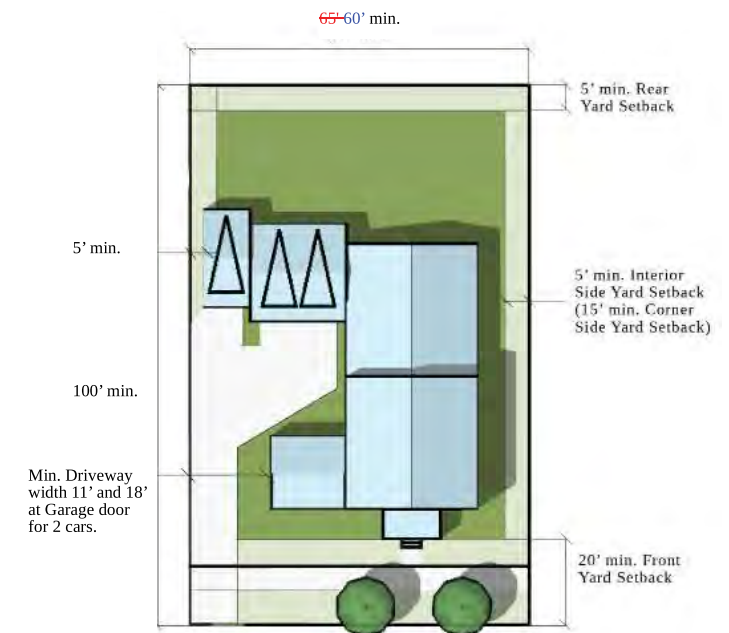
All side drives must be located a minimum of 1' off of property line



View and Plan: Side Drive ~~65'~~ 60' Homes with Attached Garage



View and Plan: Side Drive ~~65'~~ 60' Homes with Detached Garage



Illustrations may not accurately reflect all lot variations. Please see text for specific requirements

# 20C | ~~65'~~ 60' HOMESITES: FRONT ENTRY, SIDE GARAGE

## HOUSING TYPE ELEMENTS:

Lot Area: ~~6,500~~ 6,000 SF min.

Lot Width: ~~65'~~ 60' min.

Lot Depth: 100' min.

Maximum Number of Stories: 3

Garage Orientation: Side loaded; min. 2 spaces; 3 allowed

Minimum Front Yard Setback: 20'

Minimum Interior Side Yard Setback: 5'

Minimum Corner Side Yard Setback: 15' back of curb

Minimum Front Garage Setback for Side-Entry Lots: 22'

Minimum Rear Yard Setback: 5'

Minimum Dwelling Unit Size; 3,000 SF

Maximum Lot Coverage: 75%

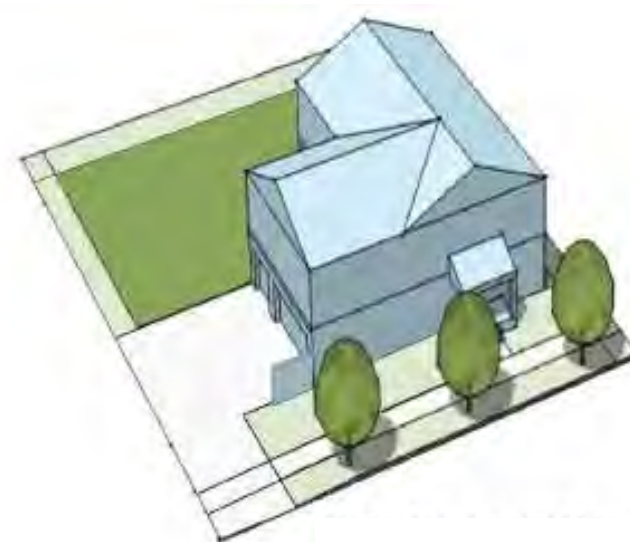
## EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building may be reduced to 3' (with the Town Architect's approval) when greater setback would be otherwise required.\*

## ALLOWED ENCROACHMENTS INTO SETBACK\*:

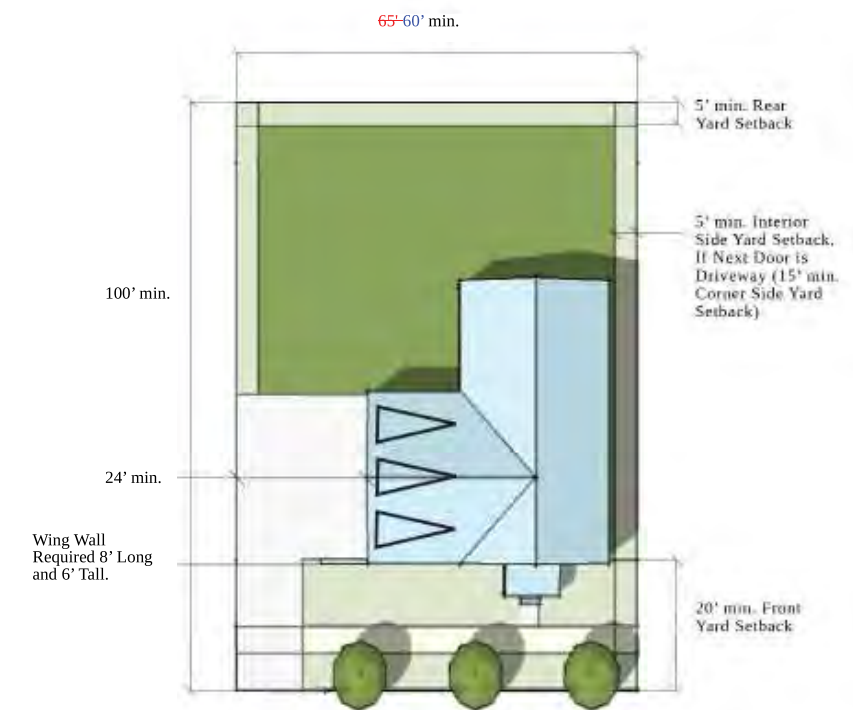
1. Porches: up to 7' into front setback and 3' into corner side yard setback but in no event into the Public Sidewalk, Drainage, Utility, and City Construction Easement (PDUCE), private utility easement, or any public easement.
2. Box windows and fireplaces that do not extend to the foundation (up to 2' into all setbacks).
3. Balconies, awnings, and overhanging eaves (up to 2' into all setbacks).
4. Bay windows and fireplaces that extend to the foundation (up to 4' into front and corner side yard setbacks).
5. Stoops and stairs (up to 5' into front and rear setbacks).
6. Foundation encroachments of 4" to 6" on all setbacks are allowed for architectural details such as brick ledges.

\*Subject to fire rating requirements of City of Crowley



View and Plan: Side Loaded ~~65'~~ 60' Home

**All side drives must be located a minimum of 1' off property line**



Plan: Side Loaded ~~65'~~ 60' Home

*Illustrations may not accurately reflect all lot variations. Please see text for specific requirements*

# 20D | ~~65'~~ 60' HOMESITES: FRONT ENTRY, ATTACHED OR DETACHED GARAGE

## HOUSING TYPE ELEMENTS:

Lot Area: ~~6,500~~ 6,000 SF min.

Lot Width: ~~65'~~ 60' min.

Lot Depth: 100' min.

Maximum Number of Stories: 3

Garage Orientation: Front loaded; min. 2 spaces; 3 allowed

Minimum Front Yard Setback: 20'

Minimum Interior Side Yard Setback: 5'

Minimum Corner Side Yard Setback: 15' back of curb

Minimum Front Garage Setback for Front Loaded Lots: 3' behind house with upgrades in accordance with paragraph D.1.c.3.a. of Exhibit B of this PD.

Minimum Rear Yard Setback: 5'

Minimum Dwelling Unit Size; 3,000 SF

Maximum Lot Coverage: 75%

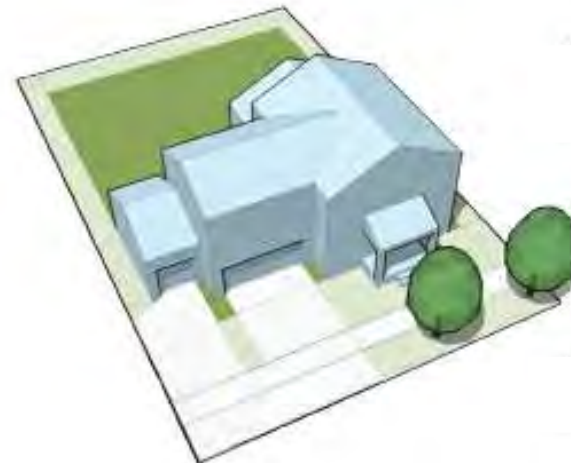
## EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building may be reduced to 3' (with the Town Architect's approval) when greater setback would be otherwise required.\*

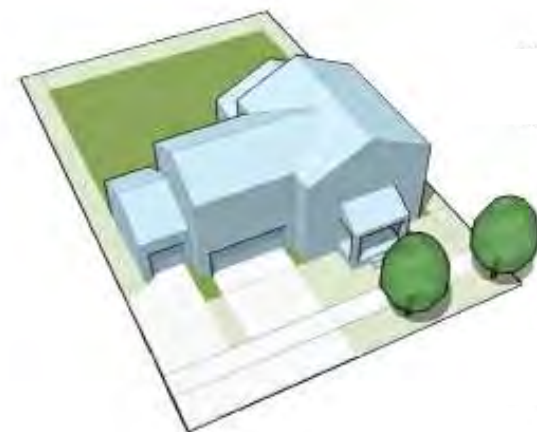
## ALLOWED ENCROACHMENTS INTO SETBACK\*:

1. Porches: up to 7' into front setback and 3' into corner side yard setback but in no event into the Public Sidewalk, Drainage, Utility, and City Construction Easement (PDUCE), private utility easement, or any public easement.
2. Box windows and fireplaces that do not extend to the foundation (up to 2' into all setbacks).
3. Balconies, awnings, and overhanging eaves (up to 2' into all setbacks).
4. Bay windows and fireplaces that extend to the foundation (up to 4' into front and corner side yard setbacks).
5. Stoops and stairs (up to 5' into front and rear setbacks).
6. Foundation encroachments of 4" to 6" on all setbacks are allowed

\*Subject to fire rating requirements of City of Crowley

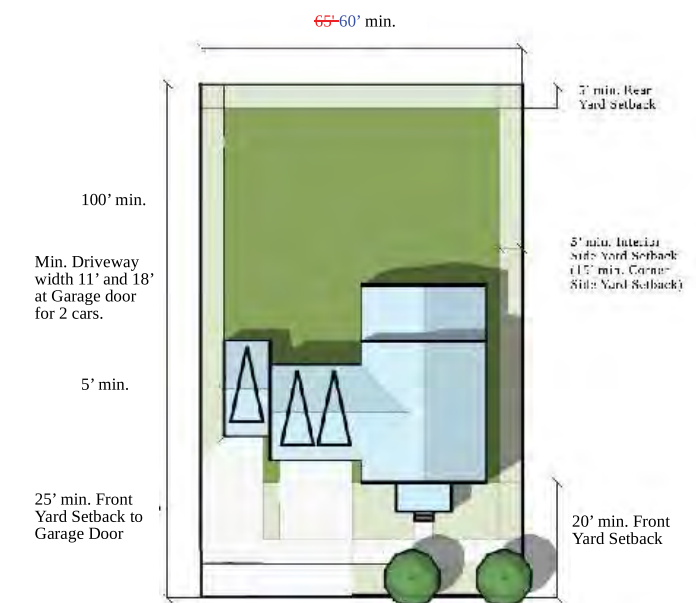
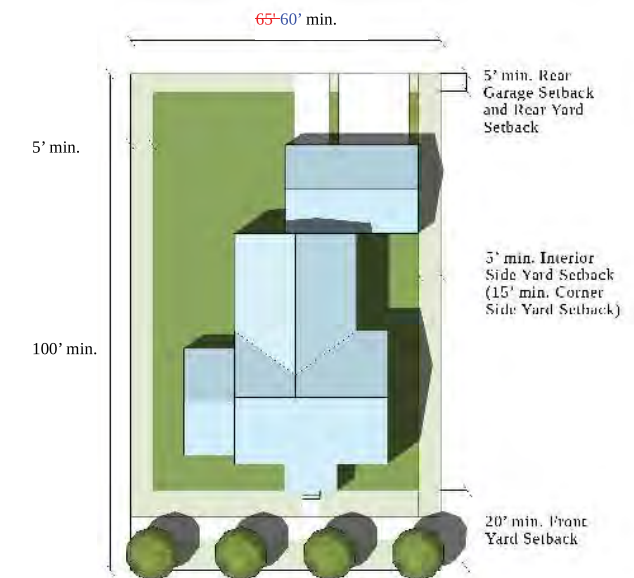


*All side drives must be located a minimum of 1' off property line*



View and Plan: Front Loaded ~~65'~~ 60' Home

*Illustrations may not accurately reflect all lot variations. Please see text for specific requirements*





# 21A | ~~75'~~ 70' HOMESITES: ALLEY ENTRY, ATTACHED OR DETACHED GARAGE



## HOUSING TYPE ELEMENTS:

Lot Area: ~~7,500~~ 7,000 SF min.

Lot Width: ~~75'~~ 70' min.

Lot Depth: 100' min.

Maximum Number of Stories: 3

Garage Orientation: ~~Side~~-Alley loaded; min. 2 spaces; 3 allowed

Minimum Front Yard Setback: 20'

Minimum Interior Side Yard Setback: 5'

Minimum Corner Side Yard Setback: 15' back of curb

Minimum Rear Yard Setback: 5'

Minimum Dwelling Unit Size; 3,000 SF

Maximum Lot Coverage: 75%

## ALLOWED ENCROACHMENTS INTO SETBACK\*:

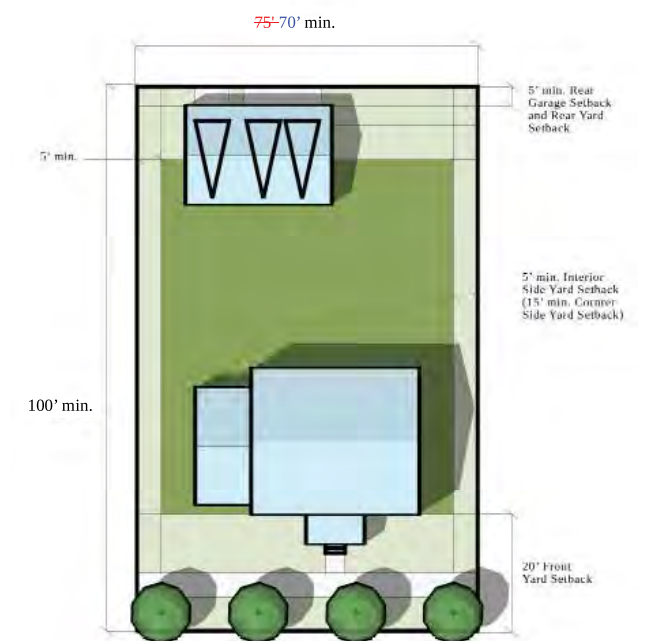
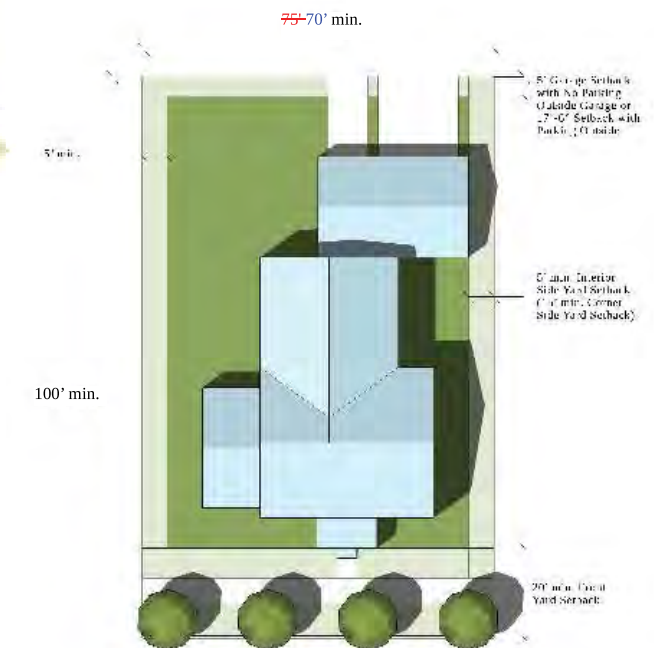
1. Porches: up to 7' into front setback and 3' into corner side yard setback but in no event into the Public Sidewalk, Drainage, Utility, and City Construction Easement (PDUCE), private utility easement, or any public easement.
2. Box windows and fireplaces that do not extend to the foundation (up to 2' into all setbacks).
3. Balconies, awnings, and overhanging eaves (up to 2' into all setbacks).
4. Bay windows and fireplaces that extend to the foundation (up to 4' into front and corner side yard setbacks).
5. Stoops and stairs (up to 5' into front and rear setbacks).
6. Foundation encroachments of 4" to 6" on all setbacks are allowed for architectural details such as brick ledges.

\*Subject to additional fire rating requirements of City of Crowley



View and Plan: Alley Loaded ~~75'~~ 70' Home

Illustrations may not accurately reflect all lot variations. Please see text for specific requirements



# 21B | ~~75'~~ 70' HOMESITES: SIDE ENTRY, ATTACHED OR DETACHED GARAGE

## HOUSING TYPE ELEMENTS:

Lot Area: ~~7,500~~ 7,000 SF min.

Lot Width: ~~75'~~ 70' min.

Lot Depth: 100' min.

Maximum Number of Stories: 3

Garage Orientation: Side drive; min. 2 spaces; 3 allowed

Minimum Front Yard Setback: 20'

Minimum Interior Side Yard Setback: 5'

Minimum Corner Side Yard Setback: 15'

Minimum Rear Yard Setback: 5'

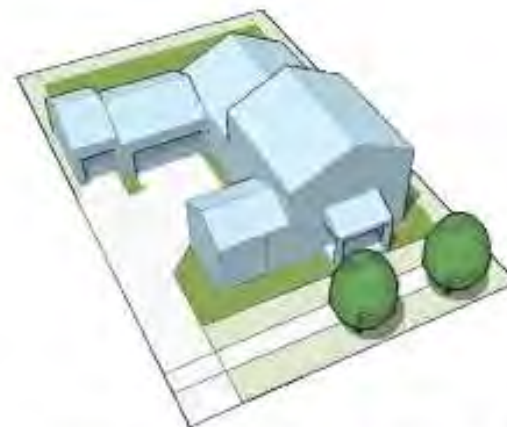
Minimum Dwelling Unit Size; 3,000 SF

Maximum Lot Coverage: 75%

## ALLOWED ENCROACHMENTS INTO SETBACK\*:

1. Porches: up to 7' into front setback and 3' into corner side yard setback but in no event into the Public Sidewalk, Drainage, Utility, and City Construction Easement (PDUCE), private utility easement, or any public easement.
2. Box windows and fireplaces that do not extend to the foundation (up to 2' into all setbacks).
3. Balconies, awnings, and overhanging eaves (up to 2' into all setbacks).
4. Bay windows and fireplaces that extend to the foundation (up to 4' into front and corner side yard setbacks).
5. Stoops and stairs (up to 5' into front and rear setbacks).
6. Foundation encroachments of 4" to 6" on all setbacks are allowed for architectural details such as brick ledges.

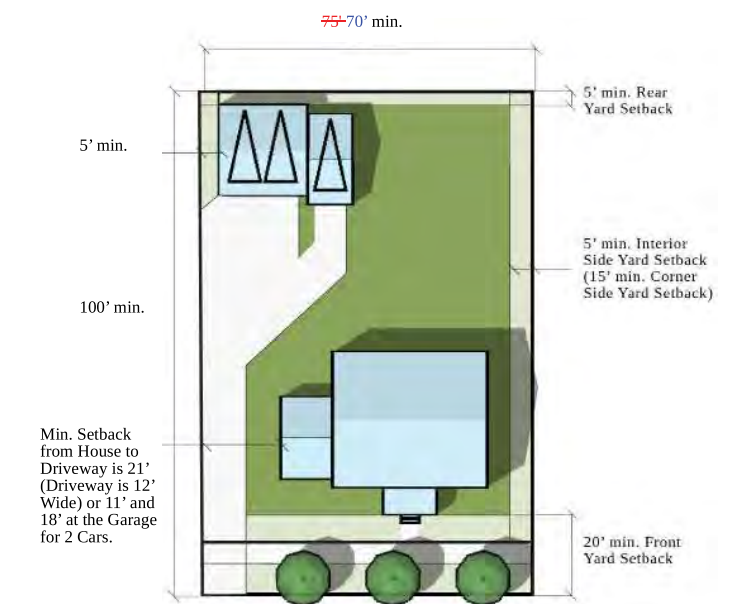
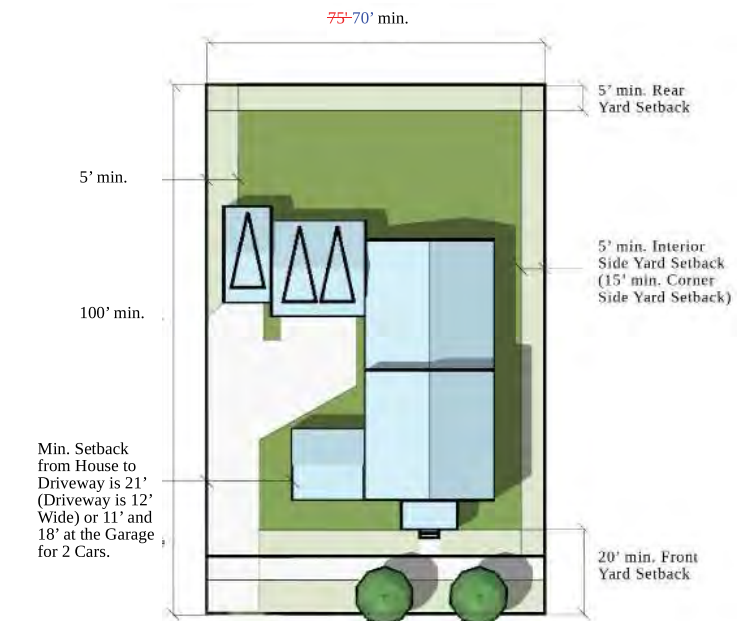
*\*Subject to additional fire rating requirements of City of Crowley*



View and Plan: Side Drive ~~75'~~ 70' Home with Attached Garage



View and Plan: Side Drive ~~75'~~ 70' Home with Detached Garage



*Illustrations may not accurately reflect all lot variations. Please see text for specific requirements*

# 21C | ~~75'~~ 70' HOMESITES: SIDE ENTRY, ATTACHED GARAGE

## HOUSING TYPE ELEMENTS:

Lot Area: ~~7,500~~ 7,000 SF min.

Lot Width: ~~75'~~ 70' min.

Lot Depth: 100' min.

Maximum Number of Stories: 3

Garage Orientation: Side loaded; min. 2 spaces; 3 allowed

Minimum Front Yard Setback: 20'

Minimum Interior Side Yard Setback: 5'

Minimum Corner Side Yard Setback: 15' back of curb

Minimum Front Garage Setback for Side-Entry Lots: 25'

Minimum Rear Yard Setback: 5'

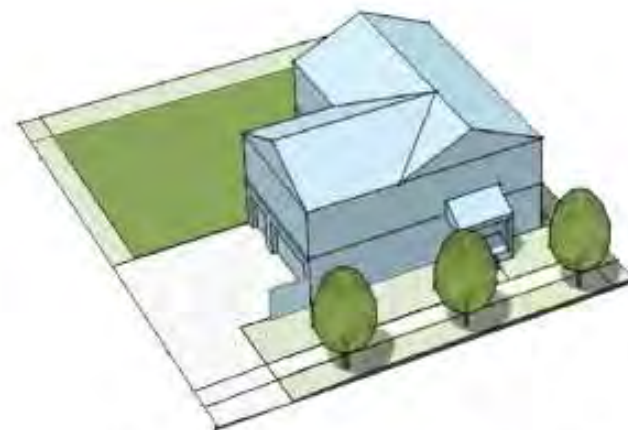
Minimum Dwelling Unit Size; 3,000 SF

Maximum Lot Coverage: 75%

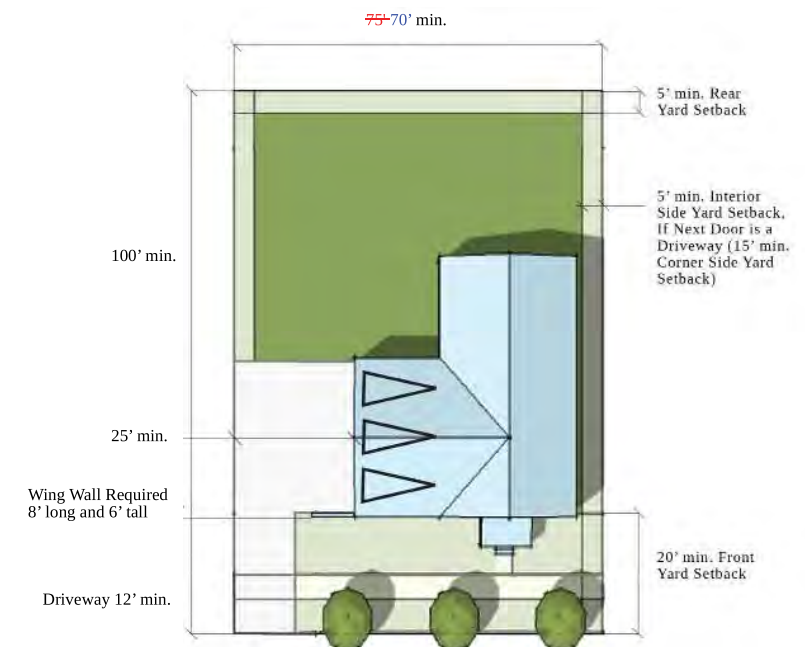
## ALLOWED ENCROACHMENTS INTO SETBACK\*:

1. Porches: up to 7' into front setback and 3' into corner side yard setback but in no event into the Public Sidewalk, Drainage, Utility, and City Construction Easement (PDUCE), private utility easement, or any public easement.
2. Box windows and fireplaces that do not extend to the foundation (up to 2' into all setbacks).
3. Balconies, awnings, and overhanging eaves (up to 2' into all setbacks).
4. Bay windows and fireplaces that extend to the foundation (up to 4' into front and corner side yard setbacks).
5. Stoops and stairs (up to 5' into front and rear setbacks).
6. Foundation encroachments of 4" to 6" on all setbacks are allowed for architectural details such as brick ledges.

*\*Subject to additional fire rating requirements of City of Crowley*



View and Plan: Side Loaded ~~75'~~ 70' Home



**All side drives must be located a minimum of 1' off property line**

*Illustrations may not accurately reflect all lot variations. Please see text for specific requirements*



# 21D | ~~75'~~ 70' HOMESITES: FRONT ENTRY, ATTACHED GARAGE

## HOUSING TYPE ELEMENTS:

- Lot Area: ~~7,500~~ 7,000 SF min.
- Lot Width: ~~75'~~ 70' min.
- Lot Depth: 100' min.
- Maximum Number of Stories: 3
- Garage Orientation: Front loaded; min. 2 spaces; 3 allowed
- Minimum Front Yard Setback: 20'
- Minimum Interior Side Yard Setback: 5'
- Minimum Corner Side Yard Setback: 15' back of curb
- Minimum Front Garage Setback: 25'
- Minimum Rear Yard Setback: 5'
- Minimum Dwelling Unit Size; 3,000 SF
- Maximum Lot Coverage: 75%

## EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building may be reduced to 3' (with the Town Architect's approval) when greater setback would be otherwise required.\*

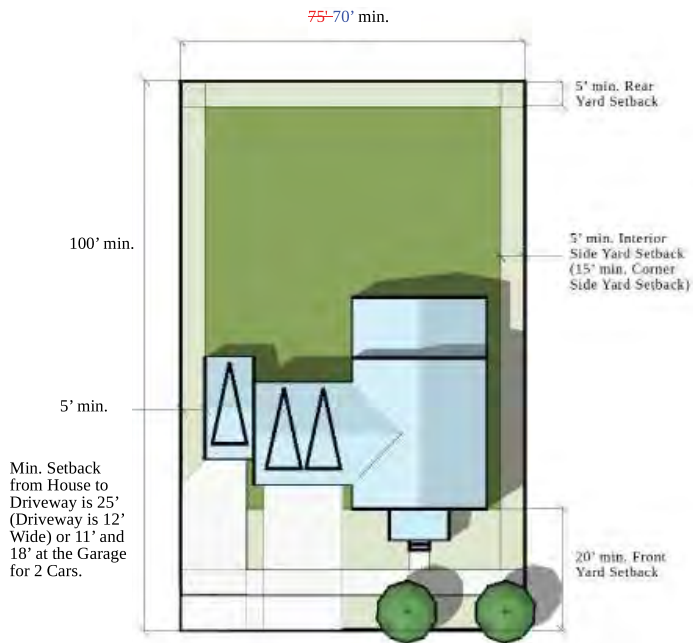
## ALLOWED ENCROACHMENTS INTO SETBACK\*:

1. Porches: up to 7' into front setback and 3' into corner side yard setback but in no event into the Public Sidewalk, Drainage, Utility, and City Construction Easement (PDUCE), private utility easement, or any public easement.
2. Box windows and fireplaces that do not extend to the foundation (up to 2' into all setbacks).
3. Balconies, awnings, and overhanging eaves (up to 2' into all setbacks).
4. Bay windows and fireplaces that extend to the foundation (up to 4' into front and corner side yard setbacks).
5. Stoops and stairs (up to 5' into front and rear setbacks).
6. Foundation encroachments of 4" to 6" on all setbacks are allowed for architectural details such as brick ledges.

\*Subject to additional fire rating requirements of City of Crowley



View and Plan: Front Loaded ~~75'~~ 70' Home



**All side drives must be located a minimum of 1' off property line**

Illustrations may not accurately reflect all lot variations. Please see text for specific requirements

# 22A | 80' HOMESITES: ALLEY ENTRY, ATTACHED OR DETACHED GARAGE

## HOUSING TYPE ELEMENTS:

Lot Area: 10,400 SF

Lot Width: 80' min.

Lot Depth: 130' min.

Maximum Number of Stories: 3

Garage Orientation: Alley; min. 3 spaces

Minimum Front Yard Setback: 24' back of curb

Minimum Interior Side Yard Setback: 7.5'

Minimum Corner Side Yard Setback: 15'

Minimum Rear Yard Setback: 5'

Minimum Dwelling Unit Size; 3,500 SF

Maximum Lot Coverage: 75%

## EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building may be reduced to 3' (with the Town Architect's approval) when greater setback would be otherwise required.\*

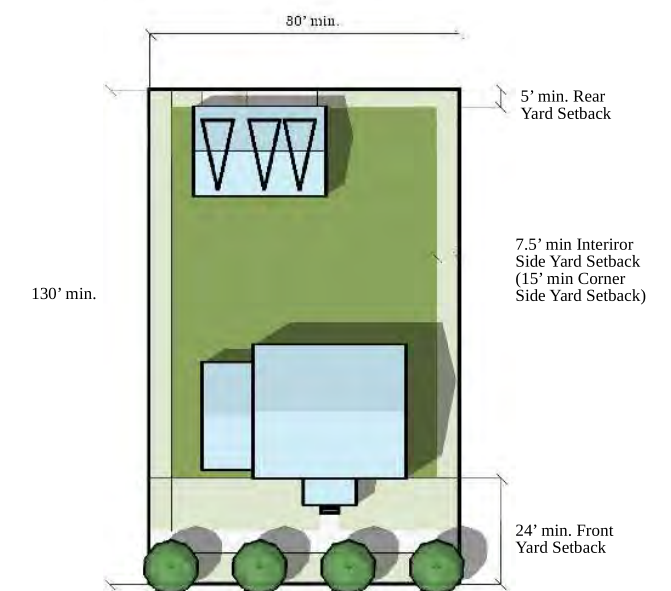
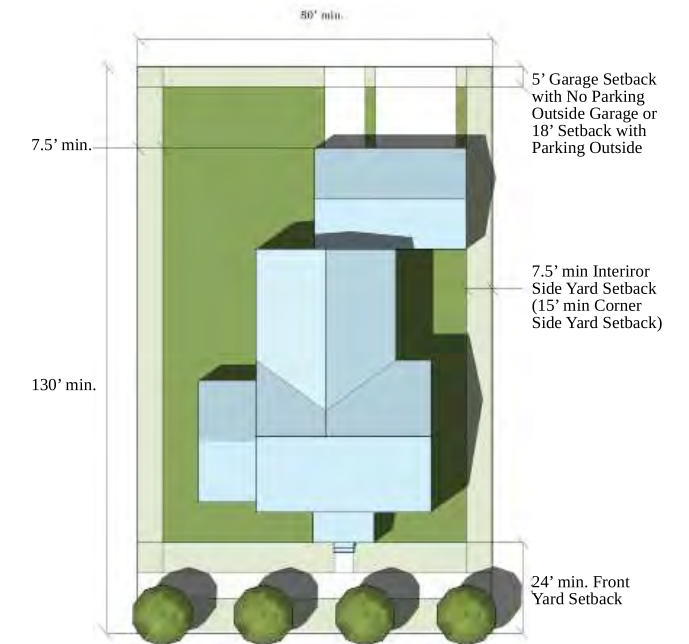
## ALLOWED ENCROACHMENTS INTO SETBACK\*:

1. Porches: up to 7' into front setback and 3' into corner side yard setback but in no event into the Public Sidewalk, Drainage, Utility, and City Construction Easement (PDUCE), private utility easement, or any public easement.
2. Box windows and fireplaces that do not extend to the foundation (up to 2' into all setbacks).
3. Balconies, awnings, and overhanging eaves (up to 2' into all setbacks).
4. Bay windows and fireplaces that extend to the foundation (up to 4' into front and corner side yard setbacks).
5. Stoops and stairs (up to 5' into front and rear setbacks).
6. Foundation encroachments of 4" to 6" on all setbacks are allowed for architectural details such as brick ledges.
7. Driveways only may be located within 1' of the property line.

*\*Subject to additional fire rating requirements of City of Crowley*



View and Plan: Alley Loaded 80' Home



*Illustrations may not accurately reflect all lot variations. Please see text for specific requirements*



# 22B | 80' HOMESITES: FRONT ENTRY, ATTACHED OR DETACHED GARAGE

## HOUSING TYPE ELEMENTS:

Lot Area: 10,400 SF

Lot Width: 80' min.

Lot Depth: 130' min.

Maximum Number of Stories: 3

Garage Orientation: Side drive; min. 3 spaces

Minimum Front Yard Setback: 24'

Interior Side Yard Setback: 7.5'

Minimum Corner Side Yard Setback: 15' back of curb

Minimum Front Garage Setback for Side-drive Lots: 40'

Minimum Rear Yard Setback: 5'

Maximum Lot Coverage: 75%

Minimum Dwelling Unit Size: 3,500 SF

Maximum Dwelling Unit Size: none

## EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building may be reduced to 3' (with the Town Architect's approval) when greater setback would be otherwise required.\*

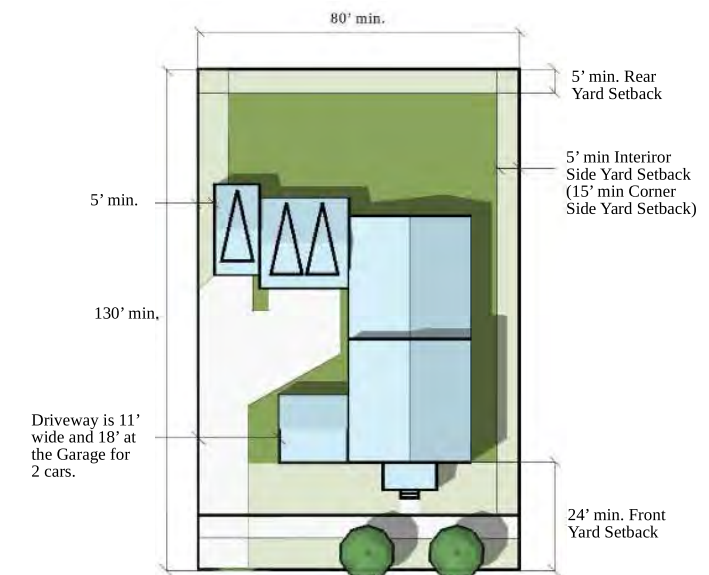
## ALLOWED ENCROACHMENTS INTO SETBACK\*:

1. Porches: up to 7' into front setback and 3' into corner side yard setback but in no event into the Public Sidewalk, Drainage, Utility, and City Construction Easement (PDUCE), private utility easement, or any public easement.
2. Box windows and fireplaces that do not extend to the foundation (up to 2' into all setbacks).
3. Balconies, awnings, and overhanging eaves (up to 2' into all setbacks).
4. Bay windows and fireplaces that extend to the foundation (up to 4' into front and corner side yard setbacks).
5. Stoops and stairs (up to 5' into front and rear setbacks).
6. Foundation encroachments of 4" to 6" on all setbacks are allowed for architectural details such as brick ledges.
7. Driveways only may be located within 1' of the property line.

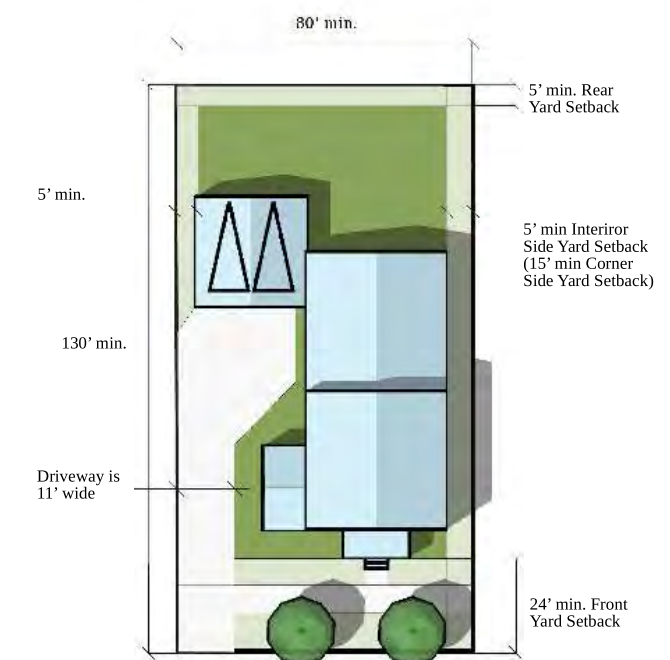
*\*Subject to fire rating requirements of City of Crowley*



View and Plan: Side Drive 80' Home with Attached Garage



View and Plan: Side Drive 80' Home with Detached Garage



# 22C | 80' HOMESITES: SIDE ENTRY, ATTACHED GARAGE

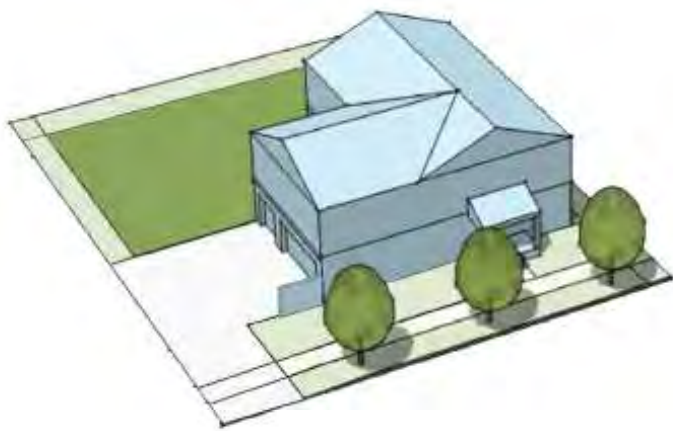
## HOUSING TYPE ELEMENTS:

- Lot Area: 10,400 SF
- Lot Width: 80' min.
- Lot Depth: 130' min.
- Maximum Number of Stories: 3
- Garage Orientation: Side loaded; min. 3 spaces
- Minimum Front Yard Setback: 24'
- Minimum Interior Side Yard Setback: 7.5'
- Minimum Corner Side Yard Setback: 15' back of curb
- Minimum Front Garage Setback for Side-drive Lots: 25'; 40' for Porte Cochere Lots
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 75%
- Minimum Dwelling Unit Size: 3,500 SF
- Maximum Dwelling Unit Size: none

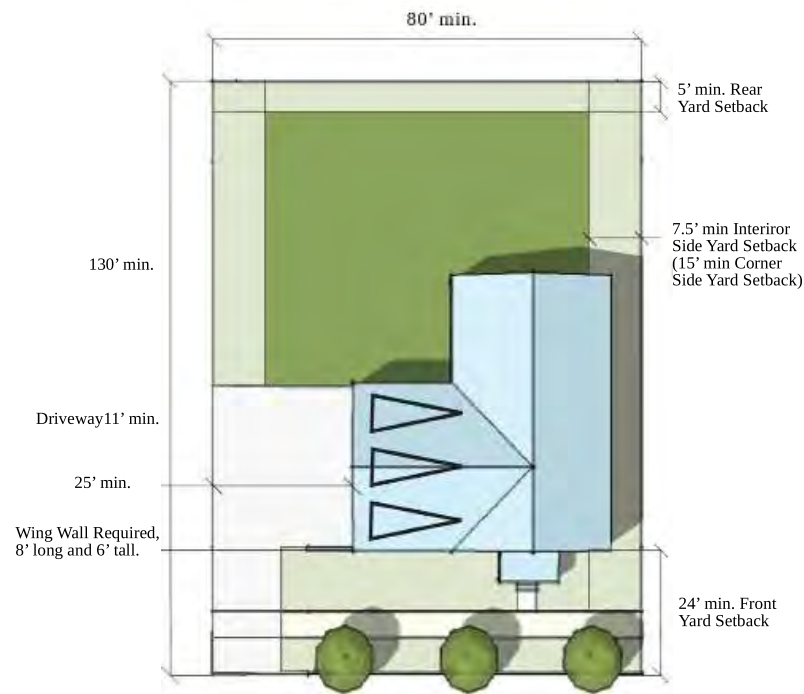
## ALLOWED ENCROACHMENTS INTO SETBACK\*:

1. Porches: up to 7' into front setback and 3' into corner side yard setback but in no event into the Public Sidewalk, Drainage, Utility, and City Construction Easement (PDUCE), private utility easement, or any public easement.
2. Box windows and fireplaces that do not extend to the foundation (up to 2' into all setbacks).
3. Balconies, awnings, and overhanging eaves (up to 2' into all setbacks).
4. Bay windows and fireplaces that extend to the foundation (up to 4' into front and corner side yard setbacks).
5. Stoops and stairs (up to 5' into front and rear setbacks).
6. Foundation encroachments of 4" to 6" on all setbacks are allowed for architectural details such as brick ledges.
7. Driveways only may be located within 1' of the property line.

*\*Subject to fire rating requirements of City of Crowley*



View and Plan: Side Loaded 80' Home



**All side drives must be located a minimum of 1' off property line**

*Illustrations may not accurately reflect all lot variations. Please see text for specific requirements*



## Crowley City Council

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### AGENDA REPORT

**Meeting Date:** May 20, 2021

**Agenda Item:** VII-1

**Staff Contact:** Carol C. Konhauser  
City Secretary

**E-mail:** [ckonhauser@ci.crowley.tx.us](mailto:ckonhauser@ci.crowley.tx.us)

**Phone:** 817-297-2201-X 4000

---

**SUBJECT:**

- a. Receive certification of Unopposed Candidate for the June 19, 2021 Special Election to fill a vacancy;
- b. Discuss and consider adopting Ordinance 05-2021-427, declaring unopposed candidate for the June 19, 2021, Special Election to fill a Vacancy for the purpose of election a council member to Place 6 for the remainder of the unexpired term ending May 2023; declaring unopposed candidate elected to office; and canceling the Special Election.
- c. Issue Certificate of Election.

---

#### **BACKGROUND/DISCUSSION**

On April 15, 2021, council approved Ordinance 04-2021-424, calling for a Special Election to fill a vacancy be held on Jun 19, 2021. The City Secretary posted a Notice of Deadline to File Application for the 2021 Special Election on April 16, 2021 on the bulletin board, City Website, and Social Media. The filing deadline was May 10, 2021. Only one candidate application was filed with the City Secretary's Office by Mr Scott Gilbreath.

In accordance with Election Code, Chapter 2, after receiving the certification of unopposed candidates, council may declare the candidate elected and cancel the election by order or ordinance.

Attached is the Certificate of Unopposed Candidate and Ordinance 05-2021-427.

#### **FINANCIAL IMPACT**

None

#### **RECOMMENDATION**

Staff recommends accepting the Certificate of Unopposed Candidate; adopting Ordinance 05-2021-427; and issuing the Certificate of Election to Scott Gilbreath

#### **ATTACHMENTS**

- Certificate of Unopposed Candidate
- Ordinance 05-2021-427



**CERTIFICATION OF UNOPPOSED CANDIDATE  
BY THE CITY SECRETARY**

I, Carol Konhauser, certify that I am the City Secretary of the City of Crowley, Texas, and the authority responsible for preparing the ballot for the June 19, 2021 Special Election. I further certify that no person had made a declaration of write-in candidacy, and the following candidate was unopposed:

**Scott Gilbreath**

Dated this \_\_\_\_\_ day of May, 2021.

---

Carol Konhauser  
City Secretary



**ORDINANCE NO. 05-2021-427**

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF CROWLEY, TEXAS, DECLARING UNOPPOSED CANDIDATE FOR THE JUNE 19, 2021 SPECIAL ELECTION TO FILL A VACANCY FOR THE PURPOSE OF ELECTING A COUNCIL MEMBER TO PLACE 6 FOR THE UNEXPIRED TERM ENDING MAY 2023; DECLARING UNOPPOSED CANDIDATE ELECTED TO OFFICE; CANCELING THE SPECIAL ELECTION; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS**, the City of Crowley, Texas, is a home rule city acting under its charter adopted by the electorate pursuant to Article XI, Section 5 of the Texas Constitution and Chapter 9 of the Local Government Code; and

**WHEREAS**, a Special Election was called for Saturday, June 19, 2021, for the purpose of filling a vacancy by electing a Council Member to Place 6 for the remainder of the term expiring May 2023; and

**WHEREAS**, the City Secretary has certified in writing and submitted a Certification of Unopposed Candidates, attached hereto as Exhibit "A," that no person has made a declaration of write-in candidacy, and that the candidate on the ballot is unopposed for election to office; and

**WHEREAS**, under these circumstances, Subchapter C, Chapter 2, Election Code, authorizes the City Council to declare the candidate elected to office and cancel the election.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CROWLEY, TEXAS THAT:**

**Section 1.** The following candidate, who is unopposed in the June 19, 2021 Special Election, is declared elected to office and shall be issued a certificate of election:

**Scott Gilbreath**

**Section 2.** The June 19, 2021 Special Election is cancelled, and the City Secretary is directed to cause a copy of this ordinance to be posted on election day at each polling place used or that would have been used in the election.

**Section 3.** It is hereby declared to be the intention of the City Council that the sections, paragraphs, sentences, clauses and phrases of this ordinance are severable, and if any phrase, clause, sentence, paragraph or section of this ordinance shall be declared void, ineffective or unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such voidness, ineffectiveness or unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs or sections of this ordinance, since the same would have been enacted by the City Council without the incorporation herein of any such void, ineffective or unconstitutional phrase, clause, sentence, paragraph or section.

**Section 4.** This ordinance shall be effective upon its adoption.

**PASSED AND APPROVED ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2021.**

CITY OF CROWLEY, TEXAS

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Billy P. Davis  
MAYOR

ATTEST:

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Carol C. Konhauser  
CITY SECRETARY

APPROVED AS TO FORM:

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Rob Allibon  
CITY ATTORNEY

## Form 2201 - Statement of Officer (General Information)

The attached form is designed to meet minimal constitutional filing requirements pursuant to the relevant provisions. *This form and the information provided are not substitutes for the advice and services of an attorney.*

### **Execution and Delivery Instructions**

A Statement of Officer required to be filed with the Office of the Secretary of State is considered filed once it has been received by this office.

**Mail:** P.O. Box 12887, Austin, Texas 78711-2887.

**Overnight mail or hand deliveries:** James Earl Rudder Officer Building, 1019 Brazos, Austin, Texas 78701.

**Fax:** (512) 463-5569.

**Email:** Scanned copies of the executed Statement may be sent to [register@sos.texas.gov](mailto:register@sos.texas.gov)

*NOTE: The Statement of Officer form, commonly referred to as the “Anti-Bribery Statement,” must be executed and filed with the Office of the Secretary of State before taking the Oath of Office (Form 2204).*

### **Commentary**

Article XVI, section 1 of the Texas Constitution requires all elected or appointed state and local officers to take the official oath of office found in section 1(a) and to subscribe to the anti-bribery statement found in section 1(b) before entering upon the duties of their offices.

Elected and appointed state-level officers required to file the anti-bribery statement with the Office of the Secretary of State include members of the Legislature, the Secretary of State, and all other officers whose jurisdiction is coextensive with the boundaries of the state or who immediately belong to one of the three branches of state government. Questions about whether a particular officer is a state-level officer may be resolved by consulting relevant statutes, constitutional provisions, judicial decisions, and attorney general opinions. For more information, see Op. Tex. Att’y Gen. No. JC-0575 (2002) (determining the meaning of “state officer” as it is used in Article XVI).

Effective September 1, 2017, Senate Bill 1329, which was enacted by the 85<sup>th</sup> Legislature, Regular Session, amended chapter 602 of the Government Code to require the following judicial officers and judicial appointees to file their oath and statement of officer with the secretary of state:

Officers appointed by the supreme court, the court of criminal appeals, or the State Bar of Texas; and  
Associate judges appointed under Subchapter B or C, Chapter 201, Family Code.

Local officers must retain the signed anti-bribery statement with the official records of the office. *As a general rule, city and county officials do not file their oath of office with the Secretary of State— these officials file at the local level. The Legislature amended the Texas Constitution, Article 16, Section 1, in November 2001 to no longer require local level elected officials to file with our office.* **The Office of the Secretary of State does NOT file Statements or Oaths from the following persons:** Assistant District Attorneys; City Officials, including City Clerks, City Council Members, Municipal Judges, Justices of the Peace, and Police/Peace Officers; Zoning/Planning Commission Members; County Officials, including County Clerks, County Commissioners, County Judges (*except County Court of Law Judges who file with the Elections Division*), County Tax Assessors, and District Clerks; and Officials of Regional Entities, such as, Appraisal Review Districts, Emergency Service Districts, and School Districts (ISD’s).

***Questions about this form should be directed to the Government Filings Section at (512) 463-6334 or [register@sos.texas.gov](mailto:register@sos.texas.gov)***

Revised 09/2017

The seal of the State of Texas, featuring a five-pointed star in the center, surrounded by a wreath of olive and oak branches. The words "THE STATE OF TEXAS" are inscribed around the perimeter of the seal.



## Form 2204 - Oath of Office (General Information)

The attached form is designed to meet minimal constitutional filing requirements pursuant to the relevant provisions. *This form and the information provided are not substitutes for the advice and services of an attorney.*

### **Execution and Delivery Instructions**

An Oath of Office that is required to be filed with the Office of the Secretary of State is considered filed once it has been received by this office. The Oath of Office may be administered to you by a person authorized under the provisions of Chapter 602 of the Texas Government Code. Authorized persons commonly used to administer oaths include notaries public and judges.

**Mail:** P.O. Box 12887, Austin, Texas 78711-2887.

**Overnight mail or hand deliveries:** James Earl Rudder Officer Building, 1019 Brazos, Austin, Texas 78701.

**Fax:** (512) 463-5569. If faxed, the original Oath should also be mailed to the appropriate address above.

**Email:** Scanned copies of the executed Oath may be sent to [register@sos.texas.gov](mailto:register@sos.texas.gov). If sent by email, the original Oath should also be mailed to the appropriate address above.

**NOTE:** *Do not have the Oath of Office administered to you before executing and filing the Statement of Officer (Form 2201 – commonly referred to as the “Anti-Bribery Statement”) with the Office of the Secretary of State.*

### **Commentary**

Pursuant to art. XVI, Section 1 of the Texas Constitution, the Oath of Office *may not* be taken until a Statement of Officer (see Form 2201) has been subscribed to and, as required, filed with the Office of the Secretary of State. Additionally, gubernatorial appointees who are appointed during a legislative session *may not* execute their Oath until after confirmation by the Senate. Tex. Const. art. IV, Section 12.

### ***Officers Required to File Oath of Office with the Secretary of State:***

Gubernatorial appointees

District attorneys

Appellate and district court judges

Officers appointed by the supreme court, the court of criminal appeals, or the State Bar of Texas

Associate judges appointed under subchapter B or C, chapter 201 of the Texas Family Code

Directors of districts operating pursuant to chapter 36 or 49 of the Texas Water Code file a duplicate original of their Oath of Office within 10 days of its execution. Texas Water Code, Sections 36.055(d) and 49.055(d)

### ***Officers Not Required to File Oath of Office with the Secretary of State:***

Members of the Legislature elected to a *regular* term of office will have their Oath of Office administered in chambers on the opening day of the session and recorded in the appropriate Journal. Members elected to an *unexpired* term of office should file their Oath of Office with either the Chief Clerk of the House or the Secretary of the Senate, as appropriate.

All other persons should file their Oaths locally. Please check with the county clerk, city secretary or board/commission secretary for the proper filing location.

*As a general rule, city and county officials do not file their oath of office with the Secretary of State—these officials file at the local level. The Legislature amended the Texas Constitution, Article 16, Section 1, in November 2001 to no longer require local level elected officials to file with our office.*

**The Office of the Secretary of State does NOT file Statements or Oaths from the following persons:** Assistant District Attorneys; City Officials, including City Clerks, City Council Members, Municipal Judges, Justices of the Peace, and Police/Peace Officers; Zoning/Planning Commission Members; County Officials, including County Clerks, County Commissioners, County Judges (*except County Court of Law Judges who file with the Elections Division*), County Tax Assessors, and District Clerks; and Officials of Regional Entities, such as, Appraisal Review Districts, Emergency Service Districts, and School Districts (ISD's). Questions about whether a particular officer is a state-level officer may be resolved by consulting relevant statutes, constitutional provisions, judicial decisions, and attorney general opinions.

All state or county officers, other than the governor, lieutenant governor, and members of the legislature, who qualify for office, are commissioned by the governor. Tex. Gov't Code, Section 601.005. The Secretary of State performs ministerial duties to administer the commissions issued by the governor, including confirming that officers are qualified prior to being commissioned. Submission of this oath of office to the Office of the Secretary of State confirms an officer's qualification so that the commission may be issued.

*Questions about this form should be directed to the Government Filings Section at (512) 463-6334 or [register@sos.texas.gov](mailto:register@sos.texas.gov).*

*Revised 9/2017*

Submit to:  
**SECRETARY OF STATE**  
**Government Filings Section**  
**P O Box 12887**  
**Austin, TX 78711-2887**  
**512-463-6334**  
**FAX 512-463-5569**  
**Filing Fee: None**



**OATH OF OFFICE**

IN THE NAME AND BY THE AUTHORITY OF THE STATE OF TEXAS,  
I, Scott Gilbreath, do solemnly swear (or affirm), that I will faithfully  
execute the duties of the office of the City of Crowley, Council Member, Place 6 of  
the State of Texas, and will to the best of my ability preserve, protect, and defend the Constitution and laws  
of the United States and of this State, so help me God.

\_\_\_\_\_  
Signature of Officer

Certification of Person Authorized to Administer Oath

State of Texas

County of Tarrant

Sworn to and subscribed before me on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

(Affix Notary Seal,  
only if oath  
administered by a  
notary.)

\_\_\_\_\_  
Signature of Notary Public or  
Signature of Other Person Authorized to Administer An  
Oath

Carol C. Konhauser  
\_\_\_\_\_  
Printed or Typed Name



In the name and by the authority of

**The State of Texas**

THIS IS TO CERTIFY that,

**Scott Gilbreath**

was duly elected

**City of Crowley, Texas  
City Council Place 6**

In testimony whereof, I have  
hereunto signed my name and caused  
the Seal of the City to be affixed at  
the City of Crowley, Texas, this  
\_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

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Signature of Presiding Officer of  
Canvassing Authority





## Crowley City Council

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### AGENDA REPORT

**Meeting Date:** May 20, 2021

**Agenda Item:** VII-2

**Staff Contact:** Lori Watson ACM/Finance Dir

**E-mail:** [lwatson@ci.crowley.tx.us](mailto:lwatson@ci.crowley.tx.us)

**Phone:** 817-297-2201-X 4900

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**SUBJECT:** Discuss and consider waiving permit fees for the Crowley Cemetery Association for the construction of a Gazebo.

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#### **BACKGROUND/DISCUSSION**

The Crowley Cemetery Association plans to construct a 16x20 gazebo on the northern end of the cemetery. Phil Hampton has requested the \$60 permit fees be waived.

#### **FINANCIAL IMPACT**

Permit fees for the structure would be \$60.

#### **ATTACHMENTS**

None



## Crowley City Council

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### AGENDA REPORT

**Meeting Date:** May 20, 2021

**Agenda Item:** VII-3

**Staff Contact:** Carol Konhauser  
City Secretary  
**E-mail:** ckonhauser@ci.crowley.tx.us  
**Phone:** 817-297-2201 ext. 4000

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**SUBJECT:** Discuss and consider Special Event Permit Application for the Message Church BBQ in Bicentennial Park on May 29, 2021.

---

#### **BACKGROUND/DISCUSSION**

Mr Eric Davis submitted a special Event Permit Application to hold a BBQ in Bicentennial Park for members of Message Church. They plan to have a sound system to play both recorded and live music. The live music will be performed by the Church band/choir.

#### **FINANCIAL IMPACT**

None.

#### **RECOMMENDATION**

Recommend approval of the Special Event Permit.

#### **ATTACHMENTS**

- Special Event Application
- Insurance



## Special Events Permit Application

City Secretary's Office  
201 E Main Street  
Crowley TX 76036  
(817) 297-2201 ext 4000

Permit applications shall be filed with the city secretary or designee for consideration on a first come first serve basis **not less than 21 days or more than 365 days before the date of the proposed use or activity. In the event of a street closure, applications must be submitted not less than 45 days in advance. Due to the state department of transportation requirements, closure of any state highway for more than six (6) hours will require 90 days' advance notice to the city.** The application will either be approved, approved with conditions, denied, or more information will be requested within five business days of submission to the city secretary. Due to the nature of some events, additional information may be requested. A deposit will be required for certain types of events. The deposits shall be set forth in the city fee schedule listed as Appendix A to the City of Crowley Code of Ordinances.

All applicants will be charged facility rental fees as appropriate and are expected to fully reimburse the City for all services related to event production which may include, but are not limited to, Police, Fire/EMS, Park and Facility Maintenance, Field Services, Sanitation, Street Engineering, Site Supervisors, Environmental, and all necessary permit fees including: Beer and Wine, Tent, Fireworks, Carnival, Sign, etc. Applicants are responsible for returning City facilities and parks their original condition. Daily fees will be assessed until all event equipment is removed from City premises. Full payment is due upon receipt of final invoice.

Section 1 – Applicant Information				
Name of Applicant (must be on site during the event)			Today's Date	
Address	City	State	Zip	
Phone Number	Cell Phone Number			
Email				
Section 2 – Sponsoring Organization Information				
Corporation/Organization Name of D.B.A.		Type of Organization For Profit      Non-Profit      Other:		
Name of Contact		Email:		
Address	City	State	Zip	
Phone Number	Cell Phone Number			

Section 2 – Event Information									
Name of Event								Anticipated Daily Attendance	
Location of Event/physical address									
Property Owner					Owner Phone				
Owner Email:					Has the property owner given authorization to use property? Yes                      No				
Detailed Description of Event									
	Date	Time	Day of Week						
Setup			M	T	W	Th	F	Sat	Sun
Event Start			M	T	W	Th	F	Sat	Sun
Event End			M	T	W	Th	F	Sat	Sun
Teardown			M	T	W	Th	F	Sat	Sun
Additional Information:									

Section 3 – Event Features			
Will there be an admission charge?	Yes	No	If yes, list all price categories below.
Will there be entertainment? <i>A complete list of entertainment will be required before final approval. Once approved, no changes may be made unless authorized.</i>	Yes	No	If yes, please attach a complete list of entertainment.
Will sound amplification be used at the event? Sound amplification:	Yes	No	If yes, explain below
Will merchandise and/or food items be sold? <i>Booths will need to be inspected and have proper food handling permits</i>	Yes	No	If yes, please attach a complete list of vendors.
Have you hired a licensed professional emergency medical service provider to manage your event's medical plan? If yes please list below. <i>(Fee may be charged for Emergency Service personnel)</i>	Yes	No	
Medical Service Provider	Phone		
Will the event include any of the following? ( <b>Indicate on site plan and/or vendor list</b> )			
Tents or Canopies <i>Tents require temporary use permits issued by the city upon Fire Department review (additional fees may be applicable). Temporary tents must adhere to the International Fire Code</i>	Yes	No	Complete Tent Worksheet and attach with site plan
Inflatables <i>If inflatable exceeds 400 sq ft, additional permit is required</i>	Yes	No	Total Sq Ft:
Company	Contact name and phone		
Fireworks/Pyrotechnics <i>Fireworks/Pyrotechnics require permits from the City Fire Department (additional fees may be applicable)</i>	Yes	No	
Temporary Fencing <i>Provide accurate dimensions of fenced area on site plan. Temporary fencing requires temporary use permits issued by the city (additional fees may be applicable).</i>	Yes	No	
Temporary restrooms or refuse collection provided? <i>(All trash and debris must be removed)</i>	Yes	No	
Company	Contact name and phone		
Carnival/Amusement Rides <i>A separate Special Use Permit may be required. (additional fees may be applicable)</i>	Yes	No	
Company	Contact name and phone		
Signs / Banners <i>A separate Sign Permit may be required. (additional fees may be applicable)</i>	Yes	No	
Company	Contact name and phone		
Will animals be used in conjunction with event?	Yes	No	If yes, describe below.
Description:			
Is this a run, walk or parade? If yes, attach a map identifying assembly location and route on site plan. <b>Must be submitted 21-days prior to event.</b> <i>(Fee may be charged for Public Service Personnel)</i>	Yes	No	

Section 4 – Roadways and Sidewalks			
Does the event propose <b>using, closing or blocking</b> any of the following If yes, specify location and duration on site map. <i>(Fee may be charged for Public Service personnel)</i>			
City Streets	Yes	No	City Sidewalks Yes No
City Right-of-Ways	Yes	No	Public Parking Lots Yes No

Section 5 – Use of City Utilities (Fee may be charged for the use of City Utilities)			
Will any City electric hookups be used?	Yes	No	Electric Location including amperage
Will any City water hookups be used?	Yes	No	Water Location(s)
Will waste water/gray water be generated?	Yes	No	Is so, how will it be disposed?



## Section 6 – Alcohol

Will there be alcohol at the event? Yes No

*At no time will alcohol be distributed or consumed in City Parks and/or streets to include Park Pavilions. All activities involving alcohol will require the presence of an off-duty City police officer. The applicant will be required to pay for an officer to be present for a minimum of 3 hours or the full amount of time that alcohol is served. Consumption of alcohol without the presence of an officer or a violation of the provision of the City Ordinances will result in forfeiture of the rental deposit.*

The Texas Alcoholic Beverage Commission (TABC) requires specific and specialized permits for selling/serving alcohol. These permits will be based on the parameters and scope of the desired service and the type of event. Due to the numerous scenarios that may be involved in your event, it is impossible to outline the requirements in this application. **It is your responsibility** to contact the TABC office and speak to an Agent who will be the entity for permission and, if approved, provide the exact permit(s) required.

Permission by the City to hold a Special Event does not guarantee permission from TABC to serve/sell alcohol. Your event may be approved by the City but the service and selling of alcohol is the domain of the TABC and may be denied at their discretion.

Permission by the TABC to serve/sell alcohol at a Special Event does not guarantee permission of the City.

Will alcohol be provided free of charge? Yes No

*To be considered "free," there cannot be an expectation of receiving money. You cannot charge for admission, ask for donations or accept tips. Doing so would constitute a sale of alcohol and would require a Texas Alcohol Beverage Commission and City Permit.*

Will you be charging an entrance or registration fee? Yes No

Will the alcohol be sold? Yes No

If you answered Yes, a Texas Alcohol Beverage Commission and City Permit will be required.

TABC License # \_\_\_\_\_ Expiration \_\_\_\_\_

## Section 11 – Insurance Requirements

The City of Crowley has established insurance requirements for those facility users, vendors and contractors entering into agreements with the City for the purpose of special events and activities. Before commencing use or services under an agreement with the City of Crowley a certificate of insurance that complies with the requirements referenced below must be furnished.

**All special event applicants shall name the City of Crowley as an “Additional Insured”** on all policies, and shall reflect this on a Certificate of Liability Insurance. A pplicant shall obtain Certificates of Liability Insurance from all vendors participating in this event unless covered under the applicant’s insurance policy. Separate Certificates of Insurance Liability shall be provided by all carnival and amusement companies and firework production companies and shall name the City of Crowley as “Additional Insured.” Additional coverage may be required depending upon the nature and scope of the event. The City of Crowley reserves the right to evaluate the liability of each event and assess the required insurance limits. Event permits will not be issued until all insurance requirements are satisfactorily met.

### **The certificate must show:**

1. The City of Crowley as “Additional Insured.”
2. General Liability Including:
  - Bodily injury
  - Property damage
  - Medical Expense
  - Personal Injury

### **Organized League Play**

Any organization or group who is renting an athletic field for the purpose of organized league play must provide the following documents:

1. Certificate of Liability Insurance. The city and the group or organization must be co-insured by the policy. The policy must include a minimum of \$500,000.00 per incident, with not less than \$1,000,000.00 aggregate with the same remaining in effect for the term of this agreement. Failure to maintain such insurance shall be cause for immediate cancellation of event/reservation;
2. Health permit (if renting concession stand);
3. Player insurance;
4. State Charter;
5. Bylaws;
6. Schedule; and
7. Emergency contact information.

## Section 12 – Compliance with Laws and City Ordinances

1. The applicant will clean the grounds, remove equipment, and restore the permitted site after the event.
2. The applicant is responsible for providing parking assistance if required.
3. Adequate policing for crowd control must be provided by applicant. Off duty officers are available by calling 817-297-2276.
4. The applicant will not nail, staple, or otherwise attach any event-connected signs to any guard post, sign post, utility pole or tree.
5. Admission to the event will not be limited to membership nor will any discrimination be made against a person because of race, creed, sex, color, age, or national origin in conducting the event. Admission to view the event will be open to the general public without discrimination on the grounds of race, color, religion, national origin, sex, or age. Participation in the event may be limited to members of the sponsoring group, provided that the group does not unlawfully discriminate against participation in the event on grounds of race, color, religion, national origin, sex, or age. Request for Special Event Application citing special circumstances for participation requiring gender or age discrimination must be accompanied by an exceedingly persuasive justification.
6. If necessary, the applicant will furnish a map showing the area where the special event is to be conducted.

## Section 13 – Acknowledgement and Signature

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of event will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local ordinances regulating this type of event or the use of any land or buildings.

I hereby certify that I have received the property owners consent to utilize above location for the period of time and purpose stated.

I further understand that any deviation from this Application could result in the City closing down or canceling the Event. I understand that a Special Event Permit must be approved by the City of Crowley prior to the occurrence of this Event. The issuance of that permit is contingent upon the compliance with the Special Event Application and acceptance of all listed stipulations or conditions of the Special Event Permit.

Signature:

Date:

## Section 13 – Acknowledgement and Signature

Included N/A

Certificate of Liability Insurance  
Detailed Site Plan  
Route Map  
Amusement Ride Certification of Inspection  
Tent Permit Application

Public Works

Approved Denied Initials

Remarks

Fire Department

Approved Denied Initials

Remarks

Police Department

Approved Denied Initials

Remarks

Recreation Center

Approved Denied Initials

Remarks

City Council

Approved Denied Initials

Remarks

## Application for Tent Permit

<b>Section 1 – Applicant Information</b>					
Name of Applicant				Today's Date	
Address		City		State	Zip
Phone Number		Cell Phone Number			
Email					
<b>Section 2 – Person/Organization/Contractor Responsible for Erection of Tent</b>					
Organization					
Address		City		State	Zip
Phone Number		Cell Phone Number			
Email					
<b>Section 3 - Tent Information</b>					
Location of Tent				Number of Tents	Zoning District
Purpose of Tent/Usage Description					
Description of Tent (if multiple list details of each tent)					
Size (ft)	Area (sq ft)	Tent Separation (ft)	Side Walls	Additional Info	
1.     x			Yes    No		
2.     x			Yes    No		
3.     x			Yes    No		
4.     x			Yes    No		
5.     x			Yes    No		
<p>Attach site plan which includes the following:</p> <ol style="list-style-type: none"> <li>1. Accurate site plan with dimensions from property lines and other structures</li> <li>2. Floor plan showing all required exits, no smoking signs, square footage and height of structure</li> <li>3. Occupant Load per manufacturer guidelines</li> <li>4. Membrane type and Fire Resistance Certification (must be attached)</li> <li>5. Locations of fire extinguishers.</li> <li>6. Location of parking</li> <li>7. Location and distance of all heat producing equipment</li> <li>8. Location and distance of all generators</li> </ol>					
Date to be erected			Date to be taken down		
<p>I hereby certify that I have received the property owners consent to erect a temporary tent at the above location for the period of time and purpose stated.</p> <p>I agree to meet requirements of the International Fire Code regarding tents and other membrane structures and all other regulations or ordinances of the City. I acknowledge that violations of any of the codes, regulations or ordinances will result in immediate revocation of this permit.</p>					
Signature				Date	
Planning and Development Approved		Disapproved		Notes/Special Conditions:	
Fire Marshal Approved		Disapproved		Notes/Special Conditions:	
Fee - Date Paid		Amount Paid		Permit Issued (Number)	



# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

05/14/2021

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> CORE Insurance Group 4100 International Plz Ste 150  Fort Worth TX 76109	<b>CONTACT NAME:</b> Linda Brown <b>PHONE (A/C, No, Ext):</b> (817) 471-1108 <b>E-MAIL ADDRESS:</b> linda@coreins.us <b>FAX (A/C, No):</b> <b>INSURER(S) AFFORDING COVERAGE</b> <b>INSURER A:</b> Philadelphia Insurance Companies <b>INSURER B:</b> <b>INSURER C:</b> <b>INSURER D:</b> <b>INSURER E:</b> <b>INSURER F:</b>	<b>NAIC #</b>
<b>INSURED</b> Message Church 4113 Gateway #100  Colleyville TX 76034		

**COVERAGES****CERTIFICATE NUMBER:** 21/21**REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> <b>COMMERCIAL GENERAL LIABILITY</b> <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input checked="" type="checkbox"/> LOC OTHER:			EV71738	05/29/2021	05/29/2022	EACH OCCURRENCE \$ 1,000,000
			DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 300,000				
			MED EXP (Any one person) \$ EXCLUDED				
			PERSONAL & ADV INJURY \$ 1,000,000				
						GENERAL AGGREGATE \$ 3,000,000	
						PRODUCTS - COMP/OP AGG \$ 3,000,000	
							\$
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY						COMBINED SINGLE LIMIT (Ea accident) \$
							BODILY INJURY (Per person) \$
							BODILY INJURY (Per accident) \$
							PROPERTY DAMAGE (Per accident) \$
							\$
	<b>UMBRELLA LIAB</b> <input type="checkbox"/> OCCUR <b>EXCESS LIAB</b> <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$						EACH OCCURRENCE \$
							AGGREGATE \$
							\$
	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) <input type="checkbox"/> Y / N If yes, describe under DESCRIPTION OF OPERATIONS below		N / A				PER STATUTE OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$

**DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES** (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

BLANKET ADDITIONAL INSURED APPLIES ON THE ABOVE LISTED GENERAL LIABILITY POLICY PER FORM -PIAS010

**CERTIFICATE HOLDER****CANCELLATION**City of Crowley  
201 E Main St

CROWLEY

TX 75036

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

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## Crowley City Council

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### AGENDA REPORT

**Meeting Date:** May 20, 2021

**Agenda Item:** VII-4

**Staff Contact:** Carol Konhauser  
City Secretary  
**E-mail:** ckonhauser@ci.crowley.tx.us  
**Phone:** 817-297-2201 ext. 4000

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**SUBJECT:** Discuss and consider Special Event Permit Application for the Tarrant County 911 District to hold a 9-1-1 Educational Gathering in Bicentennial Park on Aug 29, 2021.

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#### **BACKGROUND/DISCUSSION**

Ms Abigail Dedek from the Tarrant County 911 District submitted a special Event Permit Application to hold a 911 informational gathering in Bicentennial Park for the general public. Teall and Hank from FM921 radio station will be on site. There will be games, prizes, and music.

Because it is a Tarrant County event, they respectfully request the waiver of the insurance requirement.

#### **FINANCIAL IMPACT**

None.

#### **RECOMMENDATION**

Recommend approval of the Special Event Permit.

#### **ATTACHMENTS**

- Special Event Application





## Special Events Permit Application

City Secretary's Office  
201 E Main Street  
Crowley TX 76036  
(817) 297-2201 ext 4000

Permit applications shall be filed with the city secretary or designee for consideration on a first come first serve basis **not less than 21 days** or more than **365 days** before the date of the proposed use or activity. In the event of a street closure, applications must be submitted **not less than 45 days** in advance. Due to the state department of transportation requirements, closure of any state highway for more than six (6) hours **will require 90 days' advance notice** to the city. The application will either be approved, approved with conditions, denied, or more information will be requested within five business days of submission to the city secretary. Due to the nature of some events, additional information may be requested. Permit application must be submitted no less than ten days prior to the event. In the event of a street closure, applications must be submitted no less than 15 days in advance. Due to the state department of transportation requirements, closure of any state highway for more than six hours will require 60 days' advance notice to the city. A deposit will be required for certain types of events. The deposits shall be set forth in the city fee schedule set forth in appendix A to the City of Crowley Code of Ordinances.

All applicants will be charged facility rental fees as appropriate and are expected to fully reimburse the City for all services related to event production which may include, but are not limited to, Police, Fire/EMS, Park and Facility Maintenance, Field Services, Sanitation, Street Engineering, Site Supervisors, Environmental, and all necessary permit fees including: Beer and Wine, Tent, Fireworks, Carnival, Sign, etc. Applicants are responsible for returning City facilities and parks their original condition. Daily fees will be assessed until all event equipment is removed from City premises. Full payment is due upon receipt of final invoice.

Section 1 – Applicant Information									
Name of Applicant (must be on site during the event)			Today's Date						
Abigail Dudek			5/10/2021						
Address		City	State	Zip					
2600 Airport Fwy		Fort Worth	TX	76111					
Phone Number		Cell Phone Number							
817-820-1189		682-215-2002							
Email									
adudek@tc911.org									
Section 2 – Sponsoring Organization Information									
Corporation/Organization Name of D.B.A.		Type of Organization							
TARRANT County 911 DISTRICT		<input type="checkbox"/> For Profit <input checked="" type="checkbox"/> Non-Profit <input type="checkbox"/> Other:							
Name of Contact		Email:							
Abigail Dudek		adudek@tc911.org							
Address		City	State	Zip					
2600 AIRPORT Fwy		Fort Worth	TX	76111					
Phone Number		Cell Phone Number							
817-820-1189		682-215-2002							
Section 2 – Event Information									
Name of Event			Anticipated Daily Attendance						
Sunday in the PARK with TARRANT County 911 district			August 29th 2021						
Location of Event/physical address									
Bicentennial PARK 900 E Glendale									
Property Owner		Owner Phone							
City of Crowley									
Owner Email:		Has the property owner given authorization to use property?							
		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No							
Detailed Description of Event									
9-1-1 education w/TC911 & Hank Fin (921) - Games, prizes, 911 trivia & music.									
	Date	Time	Day of Week						
Setup	8-29-2021	12:00 pm	<input type="checkbox"/> M	<input type="checkbox"/> T	<input type="checkbox"/> W	<input type="checkbox"/> Th	<input type="checkbox"/> F	<input type="checkbox"/> Sat	<input checked="" type="checkbox"/> Sun
Event Start	↓	1:00 pm	<input type="checkbox"/> M	<input type="checkbox"/> T	<input type="checkbox"/> W	<input type="checkbox"/> Th	<input type="checkbox"/> F	<input type="checkbox"/> Sat	<input checked="" type="checkbox"/> Sun
Event End	↓	3:00 pm	<input type="checkbox"/> M	<input type="checkbox"/> T	<input type="checkbox"/> W	<input type="checkbox"/> Th	<input type="checkbox"/> F	<input type="checkbox"/> Sat	<input checked="" type="checkbox"/> Sun
Teardown			<input type="checkbox"/> M	<input type="checkbox"/> T	<input type="checkbox"/> W	<input type="checkbox"/> Th	<input type="checkbox"/> F	<input type="checkbox"/> Sat	<input checked="" type="checkbox"/> Sun
Additional Information:									



### Section 3 – Event Features

Will there be an admission charge?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	If yes, list all price categories below.
Will there be entertainment? <i>A complete list of entertainment will be required before final approval. Once approved, no changes may be made unless authorized.</i>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	If yes, please attach a complete list of entertainment.
Will sound amplification be used at the event? Sound amplification:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	If yes, explain below <i>Microphone &amp; Speakers</i>
Will merchandise and/or food items be sold? <i>Booths will need to be inspected and have proper food handling permits</i>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	If yes, please attach a complete list of vendors.
Have you hired a licensed professional emergency medical service provider to manage your event's medical plan? (Fee may be charged for Emergency Service personnel)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	If yes please list below.
Medical Service Provider	Phone	
Will the event include any of the following? (Indicate on site plan and/or vendor list)		
Tents or Canopies <i>Tents require temporary use permits issued by the city upon Fire Department review (additional fees may be applicable). Temporary tents must adhere to the International Fire Code</i>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Complete Tent Worksheet and attach with site plan
Inflatables <i>If inflatable exceeds 400 sq ft, additional permit is required</i>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Total Sq Ft:
Company	Contact name and phone	
Fireworks/Pyrotechnics <i>Fireworks/Pyrotechnics require permits from the City Fire Department (additional fees may be applicable)</i>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Temporary Fencing <i>Temporary fencing requires temporary use permits issued by the city (additional fees may be applicable).</i>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Provide accurate dimensions of fenced area on site plan.
Temporary restrooms or refuse collection provided? (All trash and debris must be removed)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Company	Contact name and phone	
Carnival/Amusement Rides <i>A separate Special Use Permit may be required. (additional fees may be applicable)</i>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Company	Contact name and phone	
Signs / Banners <i>A separate Sign Permit may be required. (additional fees may be applicable)</i>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Company	Contact name and phone	
Will animals be used in conjunction with event?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	If yes, describe below.
Description:		
Is this a run, walk or parade? If yes, attach a map identifying assembly location and route on site plan. (Fee may be charged for Public Service Personnel)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<b>Must be submitted 21-days prior to event.</b>

### Section 4 – Roadways and Sidewalks

Does the event propose <b>using, closing or blocking</b> any of the following? If yes, specify location and duration on site map. (Fee may be charged for Public Service personnel)			
City Streets	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	City Sidewalks	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
City Right-of-Ways	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Public Parking Lots	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

### Section 5 – Use of City Utilities (Fee may be charged for the use of City Utilities)

Will any City electric hookups be used?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Electric Location including amperage
Will any City water hookups be used?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Water Location(s)
Will waste water/gray water be generated?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Is so, how will it be disposed?



## Section 6 – Alcohol

Will there be alcohol at the event?

☐ Yes ☒ No

*At no time will alcohol be distributed or consumed in City Parks and/or streets to include Park Pavilions. All activities involving alcohol will require the presence of an off-duty City police officer. The applicant will be required to pay for an officer to be present for a minimum of 3 hours or the full amount of time that alcohol is served. Consumption of alcohol without the presence of an officer or a violation of the provision of the City Ordinances will result in forfeiture of the rental deposit.*

The Texas Alcoholic Beverage Commission (TABC) requires specific and specialized permits for selling/serving alcohol. These permits will be based on the parameters and scope of the desired service and the type of event. Due to the numerous scenarios that may be involved in your event, it is impossible to outline the requirements in this application. **It is your responsibility** to contact the TABC office and speak to an Agent who will be the entity for permission and, if approved, provide the exact permit(s) required.

Permission by the City to hold a Special Event does not guarantee permission from TABC to serve/sell alcohol. Your event may be approved by the City but the service and selling of alcohol is the domain of the TABC and may be denied at their discretion.

Permission by the TABC to serve/sell alcohol at a Special Event does not guarantee permission of the City.

Will alcohol be provided free of charge?

☐ Yes ☒ No

*To be considered "free," there cannot be an expectation of receiving money. You cannot charge for admission, ask for donations or accept tips. Doing so would constitute a sale of alcohol and would require a Texas Alcohol Beverage Commission and City Permit.*

Will you be charging an entrance or registration fee?

☐ Yes ☒ No

Will the alcohol be sold?

☐ Yes ☒ No

If you answered Yes, a Texas Alcohol Beverage Commission and City Permit will be required.

TABC License # \_\_\_\_\_ Expiration \_\_\_\_\_

## Section 11 – Insurance Requirements

The City of Crowley has established insurance requirements for those facility users, vendors and contractors entering into agreements with the City for the purpose of special events and activities. Before commencing use or services under an agreement with the City of Crowley a certificate of insurance that complies with the requirements referenced below must be furnished.

**All special event applicants shall name the City of Crowley as an "Additional Insured"** on all policies, and shall reflect this on a Certificate of Liability Insurance. A pplicant shall obtain Certificates of Liability Insurance from all vendors participating in this event unless covered under the applicant's insurance policy. Separate Certificates of Insurance Liability shall be provided by all carnival and amusement companies and firework production companies and shall name the City of Crowley as "Additional Insured." Additional coverage may be required depending upon the nature and scope of the event. The City of Crowley reserves the right to evaluate the liability of each event and assess the required insurance limits. Event permits will not be issued until all insurance requirements are satisfactorily met.

### The certificate must show:

1. The City of Crowley as "Additional Insured."
2. General Liability Including:
  - Bodily injury
  - Property damage
  - Medical Expense
  - Personal Injury

### Organized League Play

Any organization or group who is renting an athletic field for the purpose of organized league play must provide the following documents:

1. Certificate of Liability Insurance. The city and the group or organization must be co-insured by the policy. The policy must include a minimum of \$500,000.00 per incident, with not less than \$1,000,000.00 aggregate with the same remaining in effect for the term of this agreement. Failure to maintain such insurance shall be cause for immediate cancellation of event/reservation;
2. Health permit (if renting concession stand);
3. Player insurance;
4. State Charter;
5. Bylaws;
6. Schedule; and
7. Emergency contact information.



## Section 12 – Compliance with Laws and City Ordinances

1. The applicant will clean the grounds, remove equipment, and restore the permitted site after the event.
2. The applicant is responsible for providing parking assistance if required.
3. Adequate policing for crowd control must be provided by applicant. Off duty officers are available by calling 817-297-2276.
4. The applicant will not nail, staple, or otherwise attach any event-connected signs to any guard post, sign post, utility pole or tree.
5. Admission to the event will not be limited to membership nor will any discrimination be made against a person because of race, creed, sex, color, age, or national origin in conducting the event. Admission to view the event will be open to the general public without discrimination on the grounds of race, color, religion, national origin, sex, or age. Participation in the event may be limited to members of the sponsoring group, provided that the group does not unlawfully discriminate against participation in the event on grounds of race, color, religion, national origin, sex, or age. Request for Special Event Application citing special circumstances for participation requiring gender or age discrimination must be accompanied by an exceedingly persuasive justification.
6. If necessary, the applicant will furnish a map showing the area where the special event is to be conducted.

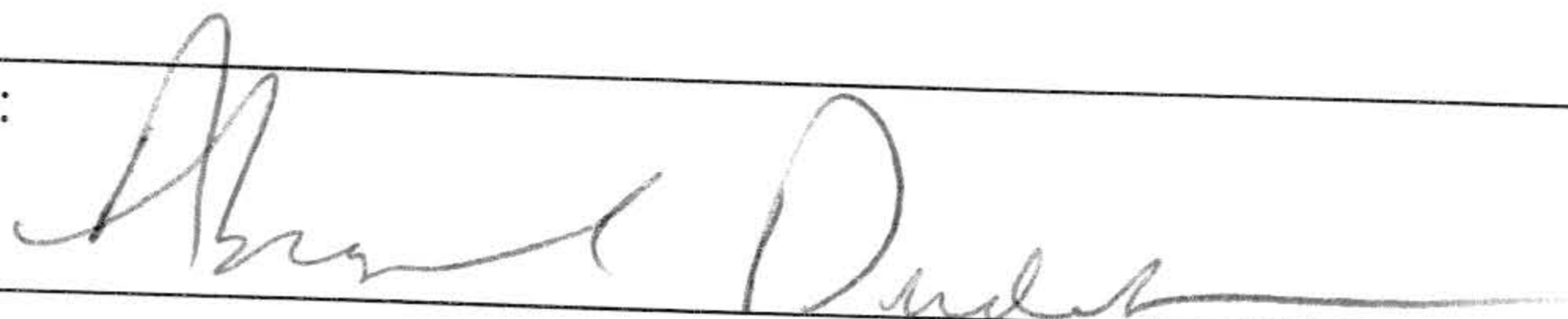
## Section 13 – Acknowledgement and Signature

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of event will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local ordinances regulating this type of event or the use of any land or buildings.

I hereby certify that I have received the property owners consent to utilize above location for the period of time and purpose stated.

I further understand that any deviation from this Application could result in the City closing down or canceling the Event. I understand that a Special Event Permit must be approved by the City of Crowley prior to the occurrence of this Event. The issuance of that permit is contingent upon the compliance with the Special Event Application and acceptance of all listed stipulations or conditions of the Special Event Permit.

Signature:



Date:

5-10-2021

## Section 13 – Acknowledgement and Signature

Included

N/A

☐☒

Certificate of Liability Insurance

☐☒

Detailed Site Plan

☐☒

Route Map

☐☒

Amusement Ride Certification of Inspection

☒☐

Tent Permit Application

Public Works

☐ Approved ☐ Denied Initials

Remarks

Fire Department

☐ Approved ☐ Denied Initials

Remarks

Police Department

☐ Approved ☐ Denied Initials

Remarks

Recreation Center

☐ Approved ☐ Denied Initials

Remarks

City Council

☐ Approved ☐ Denied Initials

Remarks



## Application for Tent Permit

Section 1 – Applicant Information					
Name of Applicant <i>Abigail Duder</i>					Today's Date <i>5-10-2021</i>
Address <i>2600 Airport Fwy</i>		City <i>Fort Worth</i>		State <i>TX</i>	Zip <i>76111</i>
Phone Number		Cell Phone Number <i>682-215-2002</i>			
Email <i>adudek@tc911.org</i>					
Section 2 – Person/Organization/Contractor Responsible for Erection of Tent					
Organization <i>Tarrant County 911 District 1 92.1 Hank Fm</i>					
Address <i>2600 Airport Fwy</i>		City <i>Fort Worth</i>		State <i>TX</i>	Zip <i>76111</i>
Phone Number		Cell Phone Number <i>682-215-2002</i>			
Email <i>adudek@tc911.org</i>					
Section 3 - Tent Information					
Location of Tent <i>Bicentennial Park</i>				Number of Tents <i>2</i>	Zoning District
Purpose of Tent/Usage Description <i>9-1-1 Education &amp; music</i>					
Description of Tent (if multiple list details of each tent)					
Size (ft)	Area (sq ft)	Tent Separation (ft)	Side Walls	Additional Info	
1. x	<i>10x10</i>	<i>6ft</i>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
2. x	<i>10x10</i>		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
3. x			<input type="checkbox"/> Yes <input type="checkbox"/> No		
4. x			<input type="checkbox"/> Yes <input type="checkbox"/> No		
5. x			<input type="checkbox"/> Yes <input type="checkbox"/> No		
Attach site plan which includes the following: <ol style="list-style-type: none"> <li>1. Accurate site plan with dimensions from property lines and other structures</li> <li>2. Floor plan showing all required exits, no smoking signs, square footage and height of structure</li> <li>3. Occupant Load per manufacturer guidelines</li> <li>4. Membrane type and Fire Resistance Certification (must be attached)</li> <li>5. Locations of fire extinguishers.</li> <li>6. Location of parking</li> <li>7. Location and distance of all heat producing equipment</li> <li>8. Location and distance of all generators</li> </ol>					
Date to be erected <i>8-29-2021</i>			Date to be taken down <i>8-29-2021</i>		
I hereby certify that I have received the property owners consent to erect a temporary tent at the above location for the period of time and purpose stated.					
I agree to meet requirements of the International Fire Code regarding tents and other membrane structures and all other regulations or ordinances of the City. I acknowledge that violations of any of the codes, regulations or ordinances will result in immediate revocation of this permit.					
Signature <i>Abigail Duder</i>					Date <i>5-10-2021</i>
Planning and Development <input type="checkbox"/> Approved <input type="checkbox"/> Disapproved		Notes/Special Conditions:			
Fire Marshal <input type="checkbox"/> Approved <input type="checkbox"/> Disapproved		Notes/Special Conditions:			
Fee - Date Paid		Amount Paid		Permit Issued (Number)	